

City of Nowthen  
PLANNING & ZONING COMMISSION MEETING  
TUESDAY, MARCH 23, 2021  
AGENDA  
7 PM

- THIS WILL BE AN IN-PERSON MEETING.
- NOTE THE STAGGERED TIMES FOR EACH AGENDA ITEM.
- MASKS ARE REQUIRED; PLEASE PRACTICE SOCIAL DISTANCING.
- PLEASE ARRIVE AT THE DESIGNATED PUBLIC HEARING TIME AND THEN EXIT THE BUILDING ONCE THE COMMISSION IS THROUGH DISCUSSING THE AGENDA ITEM FOR WHICH YOU ARE IN ATTENDANCE.

 Called to Order

- Pledge of Allegiance
- Roll Call
- Approve/Amend tonight's meeting agenda of March 23, 2021.
- Approve the Planning & Zoning Meeting minutes of February 23, 2021.

**1. 7:00 PM: PUBLIC HEARING**

**Continued from February 23, 2021, Phases Two and Three Brand Name Storage – A** CONDITIONAL USE PERMIT & SITE PLAN REQUEST by Josh Peterson for property owned at 8335/8359 Viking Boulevard to allow multiple buildings on a single parcel, and for a MINOR SUBDIVISION (lot line reconfiguration) to allow Phases Two and Three of the Name Brand Storage Facility (PIDs# 20-33-25-43-0012, 20-33-25-43-0013) to be developed on existing industrial land. A VARIANCE is required to allow a six (6) foot side yard setback to the house on Parcel B to allow for Phase 2 construction. Pending construction of Phase 3, the house and all outbuildings will be removed.

**2. 7:30 PM: DISCUSSION**

**CST Subdivision –** Chad and Megan Toft have submitted two conceptual subdivision plans for vacant property located north and east of 20323 St. Francis Blvd. (PIDs 24-33-25-12-0005 and 24-33-25-11-0001). The front 30 acres is planned for industrial uses and the rear 40 is slated for large lot single family uses, both of which comply with the City's 2040 Land Use Plan.

 Motion to Adjourn

City of Nowthen  
Planning & Zoning Commission Meeting  
February 23, 2021  
7:00 PM

Present: Dale Ames, Chairman  
Kelly Pearo  
Jeff Pilon, Council Liaison  
Harold Jorgensen, Vice Chairman  
Robert Schiller

Also Present: City Planner, Liz Stockman  
City Clerk, Lori Streich

**Meeting called to order by Chairman Ames at 7:00 PM.** Roll Call was taken and meeting policy was summarized for those present.

**Motion by Pearo; 2<sup>nd</sup> by Schiller to approve tonight's meeting agenda of February 23, 2021. All in favor. Motion Carried.**

**Motion by Ames; 2<sup>nd</sup> by Jorgensen to approve the Planning & Zoning Meeting Minutes of January 26, 2021. All in favor. Motion Carried.**

**PUBLIC HEARING – Cote Lot Reconfiguration and Flag Lot Conditional Use Permit A REQUEST** by Jim and Kristin Cote for property owned on 201<sup>st</sup> Avenue (PIDs 20-33-25-32-0002 and 20-33-25-33-0001), to reconfigure the 58.47 acre parcel to split off a 10-acre flag lot (Parcel A) and keep the remaining 48.47 acres as Parcel B. A CONDITIONAL USE PERMIT is required to allow access via a flag lot (33-foot strip of land) to Parcel A, under city Code Section 10-3-4.G.

Planner Stockman presented her Report. The Cote site is located just west of the City's Industrial Park, on 201<sup>st</sup> Ave, and has significant wetlands, mostly ditches, on the site. She pointed out the location of the lot lines, ditches, wetlands, and showed the proposed lot splits and flag lot access. The county is asking the broken culvert be replaced with a 36" culvert. The current request is consistent with the 2040 Comprehensive Plan for that area.

The primary consideration is the Conditional Use Permit for the Flag lot, requested because it does not have the required 150 feet of frontage on 201<sup>st</sup> Ave. It is a flag lot with a dead-end, owned strip. If it is a dead-end situation, the 33 ft width is acceptable. Planner recommendation is that this flag lot makes sense because if there is to be commercial to the south and east, we don't want streets connecting between commercial and residential areas. This dead-end is appropriate for this situation. If the Commission deems the request for the Flag Lot appropriate and access is attainable, then it would discuss timing for the other concerns. Stockman said that the access does not need to be built immediately, but the wetland delineation is good for five years, so they should complete it within that time frame. Anoka County has recommended that Easements be established over the ditch areas. The County doesn't have land use authority, that decision is left to the City Council. Comments from the City Engineer and the Technical Review Board agree that a 50-ft easement seems appropriate in this situation.

Applicant's main question was on timing – if the culvert that needs to be replaced can be done when the driveway is completed.

**Clerk verified mailings and postings were completed.**

**PZ Discussion:**

Stockman clarified for Ames that there was not an easement beside the Thompson property for a driveway. It was land owned by the Cotes, but a 33 ft. strip would be split off as part of the flag lot. Whomever buys the corner lot is going to own the access out to 201<sup>st</sup> Ave. as a requirement of our flag lot ordinance. The easements Stockman was referring to that the County was recommending would be new easements placed over the ditches. Pearo asked what the purpose was for the ditch easements, and Stockman explained that the County requested them for maintenance reasons, equipment access, and placement of materials removed from ditches. City Engineer and County are both recommending this.

Schiller and Pearo questioned why the County is requiring the applicant to replace the broken culvert on a county ditch and also requesting the easement. Previous owners did not size his culverts appropriately, so that is part of the problem. Jorgensen said the problem is that there is manganese in the ditches that quickly eats away the bottom of the culverts, and state law says that culverts are to be cleaned out every 20 years or the easement goes away. More discussion about the culverts, and applicants will comply with County wishes.

**PUBLIC COMMENTS:**

**Steve Ponto, 8769 201<sup>st</sup> Ave NW.**

Ponto asked if the zoning was limited to just one house on the 10 acre piece and one house on the 40 acre piece. Stockman responded that the land can be developed further in the future, but the applicant is not choosing to develop further at this time.

**Dennis Morphew, 20050 Tiger St NW**

Morphew property abuts up to Cote's property. The proposed driveway for Parcel B will create a problem for the water that drains from his field, flowing east. He asked to make note of this fact. Stockman said that the landowner would have to submit a grading plan for approval before construction can take place, and if a culvert is required by the City, it would probably just be a regular size. Vicki Morphew said that the whole neighborhood drains down through their yard and out into that field. If a new driveway doesn't continue to allow that to flow, the Morphew land will flood, as they have had serious drainage issues in the past. Morphew also wanted to make a note of the fact that in the current farm access driveway, there is a corner marker showing that he owns part of the land. Stockman said she would make note of it and investigate when a building permit comes through for that lot/driveway.

Additional comments submitted by email for the record:

**Dennis & Vicki Morphew, 20050 Tiger St NW**

Dennis and I attended the February 23 public hearing regarding the Cote Lot reconfiguration and flag lot conditional use permit. The focus of the meeting was on the flag lot (Parcel A) with minimal conversation regarding Parcel B. At the meeting we expressed our concern with the drainage from our property (20050 Tiger St NW) to Parcel B. When asked if we would be notified when the driveway to Parcel B is installed to make sure drainage from our property is considered, I believe we were told no and in return we asked that our concerns be documented and be seriously taken into consideration. Thank you and I look forward to hearing from you prior to the March 9<sup>th</sup> City Council meeting.

Vicki Morphew

## Public Hearing Closed

### PZ Decision:

Stockman said Condition 1 regarding screening could be removed since these properties are quite a distance from each other. Commission agreed. Discussion about Condition 5, concerning ditch easements recommended. Stockman said that ditch easements would be mandatory if it were a plat subdivision, but this is a minor subdivision, and our ordinance is not clear on what can and cannot be waived. If the 40 acres would be developed in the future, an easement could be put in place at that time. The ditch culvert under discussion is critical to the drainage for the commercial park, so the City would want to keep it open. The culvert is crushed on one end, contributing to flooding in the commercial park currently. The easement would be in place for perpetual maintenance by the city or the county. Ames suggested following Stockman's recommendations to state the easement as 20 feet on either side, to meet the buffer recommendations also.

Stockman recommends waiving Park & Trail dedication requirements (not increasing number of lots) and paving/curbing requirements. City Engineer recommends moving the primary and secondary septic sites on Parcel A further from the property line, knowing that there could be a future street there.

**Ames made the motion to approve the Cote Lot Reconfiguration and Flag Lot Conditional Use Permit, eliminating CUP Condition 1 and changing CUP Condition 5 to be 20 feet on either side of the wetland, and waive the Lot Split/Reconfiguration Park & Trail dedication and paving/curbing requirements. Schiller 2<sup>nd</sup>. All in favor.**

**PUBLIC HEARING: Leistico Preliminary/Final Plat and Conditional Use Permit for Deferral of Street Paving Requirements** - A PRELIMINARY and FINAL PLAT by the Leistico Estate (PID 09-33-25-34-0002, 09-33-25-34-0003, and 09-33-25-33-0008) at 21413 Nowthen Blvd to subdivide three (3) existing lots into four (4) buildable parcels and two (2) outlots for the purpose of distributing land among family members and separate the farmstead from the balance of land. A CONDITIONAL USE PERMIT is required to allow deferral of street paving requirements under City Code Section 10-3-3.C.

Planner Stockman presented her Report. The Leistico family estate is splitting up. The existing home along the road belonged to the parents, and there was some mining done years ago that created some ponding. Dennis Leistico and Gene Leistico both own homes adjacent to or within the plat. Dennis will acquire Outlot A, and Gene will acquire Lot 1, Block 3. The farmstead on Lot 1, Block 1 will be sold and Lot 2, Block 1 is a new lot being created for Dennis' son. Lot 1, Block 2 and Outlot B will be owned by Gene Leistico and will allow for his children to potentially build within the plat at a later date. The Plat positively eliminates an existing flag lot through the reconfiguration of land within the plat.

The Deferral Request would allow them to defer paving of streets until further development, in accordance with the City's new Ordinance allowing this. There are several buildings being removed. This is fairly straightforward. Final Plat follows the same lot lines as the Preliminary Plat. Recommendation is to approve the Preliminary and Final Plat, with the deferral of street paving requirements.

Applicant, Gary Leistico (Trustee) commended Planner Stockman for her presentation. Family members present: Brother Dennis, Brother Gene, and Nephew Corey. The gist of this is to allow both of his brothers to build houses for their families without having to build up the road to final road

specifications. No intentions beyond this, but if there is any future development, the land owners will come back to the City Council for approval. This primarily meets his parents wishes, as they asked that his two brothers get the property they want on their side of the road, allowing their children to build homes.

**Clerk verified that mailings and postings were completed.**

**PZ Discussion:**

Ames was pleased to see the family involved and getting what they want from the family land. No other discussion.

**Public Comments – None**

**PZ Decision:**

The only condition needing a decision was Condition 12 regarding accessory buildings. In order to meet City Code requirements without going through a variance process, one of the structures will need to be removed. TPC recommends removing the 1220 sq ft. shed. Gary Leistico said they are aware of that situation and are not intending to pursue a variance at this time. However, they would request the language to remain as it is, allowing them flexibility in the future if they choose other options.

Gary Leistico wanted to state for the record that as an attorney, he works with a lot of different people. City Planner, Liz Stockman, is Good Government, and he appreciates all her efforts on their behalf.

**Pearo made the motion to adopt the Findings of Fact and Recommendations as written; 2<sup>nd</sup> by Jorgensen. All in favor. Motion Carried.**

**8:00 PM – PUBLIC HEARING, Carr’s Tree Service** – A REQUEST by Carr’s Tree Service for property owned at 19477 St. Francis Boulevard (PID 25-33-25-24-0011) for development of a portion of the 5.39 acre site. The property is zoned C-1, Commercial, which permits landscaping and service-oriented businesses and involves the following applications:

- a. An INTERIM USE PERMIT to allow outdoor storage of work vehicles, materials and equipment (City Cod Section 11-3-8.D) associated with this tree trimming company, including piles of logs, brush and wood chips.
- b. An INTERIM USE PERMIT to allow areas where heavy equipment is utilized to be surfaced with gravel in accordance with Section 11-6-2.K.2.c.
- c. A VARIANCE from City Code Section 11-6-2.K requiring hard surfacing for driveways and parking areas for all commercial/industrial uses.
- d. A VARIANCE from City Code Section 11-3-8.D.4 to allow the outdoor storage area to be surfaced with gravel.

Planner Stockman presented her Report. Current landowner Trustee, Mary McCallum, was present at the meeting. The site is tucked into the south end of our commercial district on Hwy 47. The Pipeline cuts through the property and there are 4 wetlands and lots of trees, making some challenges to the property. The property to the south of this is also commercial, but the current ordinance requires a buffer from existing residences or uses also. Stockman was recommending the driveway coming in was

paved, but the back area could be gravel. No building is being proposed. The site would be gated, and would be only for employees and not residents or others. This site is zoned C-1 Commercial, and if a standard commercial development were being proposed on this site up to 70% of the site would be allowed to be impervious surfaces. She considers this application as an Interim Use – not the highest and best use of the site.

**PZ DISCUSSION** about the 100 ft. bufferyard variance. Pearo pointed out that this lot is only 300 ft wide, and to require a 100 ft. buffer would create a problem for the large vehicles, parking, turning around, especially with the lowland. Stockman agreed that the 100 ft buffer is excessive on this site. The applicant is trying to keep his gravel area to 1 acre or less, so that he doesn't need to provide stormwater ponding. Applicant should make application for a bufferyard variance

Applicant will provide a grading plan for approval. The parking lot could be reconfigured in his revised site plan, showing turning radius for the trucks graphically and avoidance of the 100 ft buffer on the south side. Applicant should bring the plan to the City Council for approval at a new Public Hearing.

Ames was concerned about diseased trees coming into the county. Discussion about size of piles, and length of time piles remain on site.

Recommended requiring paving driveway, equal distance on both sides of the gate, with gate placement as shown on plan, to a distance of approx. 130 ft from property line.

Replace Condition #11 with a minimum width of 16 ft for the driveway as shown on the plans.

Any logs, brush, vehicles, machinery or equipment is to be removed upon vacation of the site.

**PUBLIC COMMENTS** – Marie McCallum thinks it is a good use of the site.

**PUBLIC HEARING CLOSED**

**PZ DECISION:**

Recommended Changes:

- Minimum 16' driveway width as shown on the plan
- Make application for a buffer yard variance
- New Public Hearing at the City Council Meeting
- Maximum of 1 acre gravel area, or must meet stormwater ponding requirements
- Gate as shown on the plan, with pavement 130' from property line
- Provide a revised site plan showing avoidance to the extent possible of the 100' bufferyard on the south side and show the turning radius and approximate pile locations
- Logs, brush, woodchips, any vehicles, machinery or equipment is removed upon vacation from the site

**Pearo made a motion to approve all the above recommended changes with the Findings and Recommendations as they are written, provided those changes are added, and it should be brought to the City Council at a new Public Hearing for final approval. Schiller 2<sup>nd</sup>. All in favor. Motion Carried.**

**PUBLIC HEARING, Phase two and Three Brand Name Storage** – A CONDITIONAL USE PERMIT & SITE PLAN by Josh Peterson for property owned at 8335/8359 Viking Boulevard to allow multiple buildings on a single parcel, and for a MINOR SUBDIVISION (lot line reconfiguration) to allow Phases Two and Three of the Name Brand Storage Facility (PIDs# 20-33-25-43-0012, 20-33-25-43-0013) to be developed on existing industrial land. A VARIANCE is required to allow a six (6) foot side yard setback to the house on Parcel B to allow for Phase 2 Construction. Pending construction of Phase 3, the farm house and all outbuildings will be removed.

**\*Part of this was continued from the January meeting. Revised plans were not submitted in time for review prior to the February meeting.**

#### **PUBLIC HEARING OPENED**

**Motion by Jorgensen to continue this meeting to the March meeting; 2<sup>nd</sup> by Schiller.**

Pilon asked if this application was on the 60 day clock or was just an incomplete application. Stockman will verify.

Jorgensen asked how many storage unit facilities Nowthen was going to allow. He doesn't think we should let it go until we have a whole city center full of rental units. Most cities have a limit on how many can be built within their cities. Stockman disagreed because when a property is zoned Industrial, a city cannot designate what it wants there if it is in the Ordinance as a permitted or conditional use. The City cannot turn him away if he meets the requirements. Jorgensen disagreed, as Coon Rapids has a moratorium on storage units. It's all in the legal notices. Discussion about storage facility demand/clientele, tax revenue generated, "bedroom community" difficulties with generating tax revenue to maintain services. **Jorgensen made a motion to have City Council have staff investigate storage units moratoriums; 2<sup>nd</sup> by Ames. Jorgensen, Ames, Schiller voted Aye; Pearo voted Nay. Motion passed 3-1.**

#### **Planning & Zoning Commission Policy**

Chairman Ames pointed out the Policy and wanted to make sure that all members have read over and understand the Planning Commission Policy. He has read it many times, and picks up things every time he looks at it. Ames asked that the clerk take a roll call vote to verify that each member has read over and are familiar with the Policy. Pilon clarified that for tonight's purposes, the Commission is to review and approve the changes that City Council is proposing.

Commission reviewed the new policy, and Council Liaison Pilon pointed out the proposed Council changes.

Clarification of Section 7 change regarding maintaining quorum: wording changed to state that the meeting and discussion of items may continue if a quorum is lost, but no voting on a decision can take place until the quorum is regained.

Clarification of Section 10 Clarification of Section 10 - Order of Business and Regular Proceedings: During a public hearing, if someone wishes to speak, they will be allowed to speak. If a resident has a concern to bring to the attention of the Council, it would be taken to the Council, and the Council would

then assign it back to the Commission if they choose. Open Floor Items would be limited to the Council meetings and not part of the Commission agenda.

Clarification of Section 11.E – Change from six (6) calendar days to six (6) business days, thus allowing more time for the members to have the information to review before the meeting. The final version did not state “business days,” but had the language as “calendar days.” Stockman said that changing to business days makes it challenging and placed a hardship on staff getting the information from applicants and getting the packet out earlier.

Clarification of Section 15 – 1) Members serve three (3) year terms, with one-third (1/3) being appointed each January; and members must be residents of the City throughout their term. Ames pointed out that this was the policy when the Commission had nine (9) members. Concern about Commission members being “dumped” after their three-year term is up. Pilon said that members are not being dumped, but that the intention is to provide overlapping terms for members. Recommended changing wording to say: “Members shall serve three (3) year staggering terms...” No term limits specified.  
2) Recommend changing language to “Members shall be residents of the City throughout their appointed term.”

Ames pointed out that the Council voted in December, 2020, to change the Commission from a seven (7) member body to a five (5) member body. In January, 2021, the Council voted to go back to what it was previously, a seven (7) member body. The language stating that the Chairman and Vice-Chairman would be voted on by the Commission and not just by the City Council has been removed.

Clarification of Section 16-10.C – Removed “secretarial duties” and added “Administrative duties.” Item 16-10.C.8 – City Staff will confirm member attendance, and verify ahead of time that quorum will be met.

Clarification of Section 20 – Change from Code of Conduct to Compensation. Compensation was never part of this policy, so the change was made to include that in this policy.

Nothing changed in the Code of Conduct, Section 21, except that when this is approved, each Commission member will sign off that he/she has read and agrees with the Code of Conduct.

Schiller recommended that there be something added that when a Commission seat is vacated for some reason, City Staff be immediately allowed to advertise for applications. Pilon said that is being discussed in Council meetings as part of the application and hiring process. Another option is to have trained alternates that are available to step in when a seat is vacated. Discussion about notifying residents of Commission openings, interviewing applicants, selection and training of Commission members.

Ames recommended that the League of MN Planning Commission training be available to all members. Pilon said the Council is discussing providing training for all current and new members. It is important to be sure that decisions are based on the Comprehensive Plan and City Ordinances to avoid lawsuits against the City.



Ames reiterated the commendation for Planner Stockman by Gary Leistico. Planner Stockman has done a phenomenal job for the City of Nowthen and the Commission. Without her, the Commission would really be hurting, because we need her expertise.

**UPCOMING PROJECTS:**

Volunteers of America - Pilon had a meeting Feb 23, 2021 with VOA, the sheriff, and Commissioner Blake; a video of the recent riots that is redacted is available and he has requested it. Stockman has seen the video (from body and dash cams) and said it wasn't that helpful, in her opinion. DHS (Heather & Paula), said they won't have anything public until mid to late March. The CUP is on hold until possibly April. No productive meetings taking place at this time. Stockman asked what could possibly take four (4) months. Pilon requested of DHS that Stockman's packet of information be included in DHS meetings, and they requested the packet. Stockman got the information that she included in her packet from DHS. VOA has a new attorney (same company) that appears to be more attentive to the city's concerns.

CST is a company that sells all the stuff available outside of a gas station (wiper fluid, salt, etc.) They are working through an application for Marie McCallum's industrial land north of the crematorium.

Dryden Minor lot split – building a new house.

**Motion to adjourn by Pearo; 2<sup>nd</sup> by Schiller. Meeting adjourned at 9:45 PM.**

Respectfully submitted,

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Lori Streich, City Clerk/Treasurer

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Dale Ames, Chairman



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## AMENDED PLANNING REPORT

TO: Nowthen Mayor & City Council  
Nowthen Planning & Zoning Commission

FROM: Elizabeth Stockman

DATE: March 15, 2021

RE: Nowthen – Peterson Subdivision & Development  
LOT SPLIT, CONDITIONAL USE PERMIT & VARIANCE  
8335 Viking Boulevard (PID# 20-33-25-43-0012)  
8359 Viking Boulevard (PID# 20-33-25-43-0013)

FILE NO: 122.02 – 20.21

### BACKGROUND

Josh Peterson is requesting review and approval of a lot line reconfiguration (minor subdivision) and development plan. Mr. Peterson wishes to develop Phases Two and Three of the Brand Name Storage facility on a 13.15 acre parcel, in combination with the existing storage buildings. The farm house and accessory buildings will continue to be utilized on a separate parcel which encompasses 3.52 acres, until such time as Phase Three is developed.

The development plan requires a Conditional Use Permit to allow multiple buildings on a single parcel and to allow the driveway setback less than 5 feet to the side lot line. A Variance is required to allow the existing house less than 20 feet from the side lot line. The Lot Split and CUP applications were received January 5, 2021 and the Variance application was received February 2, 2021. A 60-day letter was issued which extends the City's review period through May 5, 2021.

The properties are zoned I-1, Industrial and guided Commercial/Industrial through 2040 as part of Nowthen's Comprehensive Land Use Plan.

### LIST OF EXHIBITS

- Exhibit A – Variance Application (3 pages)
- Exhibit B – 60-day Letter
- Exhibit C - Site Location Map
- Exhibit D – Certificate of Survey
- Exhibit E – Phasing Plan

- Exhibit F –Removal Plan (3 pages)
- Exhibit G – Site and Dimension Plan (3 pages)
- Exhibit H – Utility Plan (3 pages)
- Exhibit I – Grading Plan (3 pages)
- Exhibit J – Landscaping Plan (2 pages)
- Exhibit K – Seeding/Maintenance Plan
- Exhibit L – Wetland Impacts/Buffers (3 pages)
- Exhibit M – Vehicle Turning Radius
- Exhibit N – City Engineer’s Review (5 pages)
- Exhibit O – Applicant’s Engineer Response (2 pages)
- Exhibit P – Findings of Fact

**CITY CODE REQUIREMENTS & ANALYSIS**

**Zoning and Land Use Plan Consistency**

The property is zoned I-1, Industrial. All proposed parcels meet or exceed the minimum lot size requirement of 1.0 acre as required under Section 11-3-9.F Industrial District standards. The proposed use is consistent with the commercial/light industrial land use designation on the City’s 2040 Land Use Plan. Section 11-3-9.B of the I-1 District allows Warehousing, including self-storage facilities, as a permitted use. The existing farmstead on the Peterson property is an interim residential use, intended to be phased out and replaced by industrial uses when the timing makes sense for the landowner. There are no time constraints for this occurrence.

**Conditional Uses**

Mr. Peterson is proposing five (5) 40x175 storage buildings as part of Phase 2 to be located on a single parcel in combination with the 5 existing buildings. Phase 3 includes four (4) 40x200 storage buildings and one (1) 30x150 storage building. All existing residential, farm and accessory structures are to be removed when Phase 3 is developed. Under the I-1 District, multiple principal buildings are allowed, through approval of a Conditional Use Permit, on one lot of record, provided that:

- a. Base Lot Requirements: The base lot shall conform to the minimum lot area, lot width, and setback requirements of this Section.

*Comment: The property has 303.60 feet of frontage on Viking Boulevard, exceeds the minimum lot size of 1 acre and all buildings meet the required setback of 70 feet from centerline of the planned future road and 20 foot side yards.*

- b. Setbacks: Setbacks between multiple principal buildings within the same base lot shall be a minimum of twenty (20) feet.

*Comment: The proposed buildings comply with this setback provision.*

c. Common Areas: All common areas including, but not limited to, open space, wetlands, greenways, drainage ponds, driveways, parking areas, sidewalks, etc., shall be maintained in one of the following ways:

(1) All of the property including buildings and common areas shall be owned by a single entity.

*Comment: Mr. Peterson owns the entire property, thereby meeting this provision.*

(2) Condominium ownership pursuant to Minnesota statutes 515A.1-106.

(3) The property shall be divided into a base lot and unit lots to allow for individual ownership of the principal buildings or individual tenant spaces within the principal building, with each owner of a unit lot having an equal and undivided interest in the common area, subject to the following requirements:

(a) The tenant space related to each unit lot shall have an exclusive exterior entrance.

(b) A management association shall be established for all commercial developments with multiple principal buildings subdivided in a base lot/unit lot configuration that is to be responsible for all exterior building maintenance, approval of any exterior architectural modifications, landscaping, snow clearing and regular maintenance of driveways and parking areas, subject to review and approval of the City Attorney.

d. Utilities: All utilities including telephone, electricity, gas, and telecable shall be installed underground. Exterior utility meters and fixtures shall be located in interior side or rear yards when possible and shall be screened from view of adjacent properties and the public right-of-way.

#### **Interim Uses**

The Peterson property consists of two parcels which total 13.15 acres and 3.52 acres. Parcel B an existing farmstead which is an interim use within the I-1 Zoning District. Section 11-3-9.D.5 of the City's Zoning Ordinance states that residential uses existing as of October 11, 2011 shall be designated as interim uses provided that:

a. Existing residential uses may continue and may be enlarged or expanded upon provided that the uses maintain compliance with all other provisions of this Chapter applicable to such residences.

b. Not more than one (1) principal use shall be allowed upon the property.

- c. Uses as provided for within the I-1 District shall not be allowed until such time as the residential use ceases and the property complies with all requirements of this Chapter applicable to industrial uses; once converted to an allowed industrial use in conformance with the requirements of this Chapter, the interim residential use shall not be re-established.

*Comment: Under this provision, the Peterson property can be split in such a way that the residence is located on a separate parcel thereby allowing the residence to continue as an interim use until the north eastern portion of the property is (re)developed at a later date with industrial uses. The two parcels are being reconfigured into two lots with the larger parcel encompassing Phases 1 and 2.*

#### **Variance**

A Variance is required to allow the existing house on Parcel B less than 20 feet from the side lot line. A variance request shall not be approved unless a finding is made by the City Council that failure to grant the variance will result in practical difficulties. "Practical difficulties" means that the property owner proposes to use the property in a reasonable manner not permitted under the City Code. The applicant for variance shall also demonstrate that the request satisfies the following criteria of Section 11-11-2:

- a. That the variance would be consistent with the Comprehensive Plan.
- b. That the variance would be in harmony with the general purposes and intent of the Zoning Ordinance.
- c. That the plight of the landowner is due to circumstances unique to the property not created by the landowner.
- d. That the purpose of the variance is not exclusively an economic consideration.
- e. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.
- f. That the requested variance is the minimum action required to eliminate the practical difficulty.

The requested variance is a result of the transition of the property from residential agriculture to industrial and is only temporary until such time as Phase 3 commences. Altering the overall site layout to accommodate an existing house is not in the best interests of the property owner or the City.

#### **Outdoor Storage**

No outdoor storage has been proposed on the subject property, thus outdoor storage will be prohibited on site as a condition of approval unless the present or future owners initiate compliance with the following: Section 11-3-9.D.5 of the City's Zoning Ordinance states that outdoor storage is allowed, through approval of an Interim Use Permit, as a principal or accessory use, provided that the following conditions are met.

- a. The storage area is fenced and screened from view of neighboring residential uses, abutting residential districts and the public right-of-way.
- b. The storage area is surfaced to control dust.
- c. The storage area does not take up parking space as required by this Chapter.

### **Setbacks & Building Height**

All proposed industrial structures shall comply with the following (Section 11-3-9.1).

1. Front yard setback: 150 feet from centerline of Viking Blvd.
2. Side yard setback: Twenty (20) feet.
3. Rear yard setback: Thirty-five (35) feet.
4. Parking: The minimum setback from street surface to any vehicle parking or driving area shall be ten (10) feet. The driveway and parking lot setback to the lot line shall be a minimum of five (5) feet.
5. Maximum Structure Height: Thirty-Five (35) feet

The existing house does not meet the required 20-foot setback to the new lot line. In addition, the number and total square footage of accessory buildings is limited to two and 3,200 SF for lots between 2.5 and 4.99 acres in size (the parcel is 3.52 acres). Some of the buildings will need to be removed.

### **Access & Circulation**

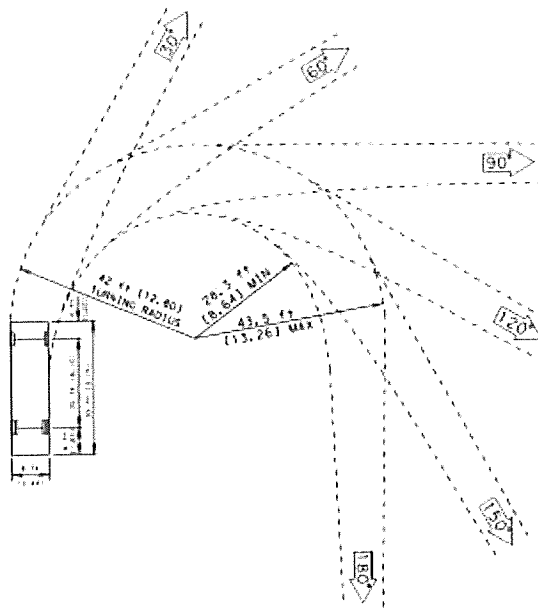
The City's Zoning Ordinance requires a minimum 22-foot driveway width. The proposed driveway width is acceptable, however the setback does not comply with the following:

Section 11-6-2.G states that curb cut accesses shall be a minimum of five (5) feet from the side yard property line in all districts except as may be allowed as a conditional use permit provided that:

- a. The reduction in setback is necessary to allow for shared access to two (2) or more properties.
- b. Private ingress/egress easements allowing use of the shared curb access shall be recorded with each property and are subject to approval of the City Attorney.

- c. Adequate provisions for management of stormwater drainage shall be provided and is subject to approval of the City Engineer.
- d. The area paved for the shared access shall be the minimum necessary to provide adequate circulation; all other areas shall be landscaped in accordance with the requirements of this Chapter.

The existing alignment of driveways and turning radii may not be suitable for large vehicle access such as fire apparatus or moving trucks which require a 42 ft. radius. Exhibit M shows the turning movements in the northwestern portion of the site, where the northerly-most driveline has been increased to 30 feet in width. Turning movements have not been shown in the central and eastern portions of the property. Nor have the buildings in Phase 3 been reduced in length or the center north-south aisle (between Phases 2 and 3) increased in width as was discussed at the meeting in January of 2021.



**Future Street**

A future street connection to Iguana Street is being required to create an extension of the existing industrial park. While the right-of-way has been set aside on the plans, Mr. Peterson shall dedicate to the City as part of the subdivision an easement for this future road.

**Wetlands**

The proposed improvements (extending the driveway) to accommodate Phases 2 and 3 will impact the adjacent wetland(s) and require proper permitting. The proposed fence may not be located within the wetland buffer zones. Exhibit L shows the wetland impacts and buffer zones.

**Impervious Surface Requirements**

Section 11-4-17.E of the Nowthen Zoning Ordinance requires that the size of structures on any lot shall not exceed twenty (20%) percent of the total lot area. The proposed development concept shows impervious surface totals at 14.6%. The maximum area of impervious land coverage, to include the building and all paved or impervious surfaces, shall not exceed seventy (70%) percent of the total lot area. The site plan shows 36.6% total impervious surface area in compliance with the City's regulations.

### **Screening**

Section 11-4-17.M requires that any commercial/industrial development that abuts land zoned RRA or abuts an existing residential use shall be screened from view using any combination of vegetation, fencing or berming to the satisfaction of the City. A landscaping and screening plan has been included as Exhibit J.

Section 11-6-2.L and M: All open off-street parking areas of five (5) or more spaces shall be screened and landscaped from abutting or surrounding residential districts and uses, and the public right-of-way. Adequate space for snow storage shall be provided on the site so as not to reduce the required minimum number of parking spaces or widths of drive lanes. In those cases where excessive snow cannot be properly stored on site, it shall be immediately removed from the site.

Screening is required along the west lot line of Phase 2 where plans show a row of Junipers, 3 Norway Spruce and a Honey Locust. This is not an adequate screen with the Junipers reaching only to a height of two feet. In addition, the Junipers will be battered by the snow being pushed from the site. Further, the Norway Spruce grow to a width of 25-30 feet and do not fit the space within which they're proposed. The Planning and Zoning Commission should provide recommendation to the City Council regarding the screening requirement.

All Commercial or Light Manufacturing Uses are required to have a screened/fenced trash enclosure area for dumpsters or waste receptacles. The site plan should be revised to show the location of trash receptacles. Fencing material must be new, un-used durable material in sound condition and properly installed and maintained. Permitted materials include:

1. Chain-link with vinyl or metal slats.
2. Naturally decay resistant or chemically treated wood.
3. Decorative masonry or concrete.
4. Low or maintenance-free vinyl.
5. Other materials may be approved by the Nowthen Architectural Review Committee.
6. Fabric Fencing or screening material is prohibited.

### **Landscaping**

A landscape plan is required for all industrial/commercial uses under Section 11-4-17.O. The total square footage of building area is 71,500 which necessitates that:

- 1 overstory deciduous tree or 1 evergreen tree be provided for every 2,000 SF of building area = 36 trees
- 1 understory shrub for every 300 SF of building area = 239 shrubs

Review of the landscaping plan contained as Exhibit L shows that while a total of six species have been proposed and the total number of plants has been provided as required, some



portions of the landscape plan could be improved upon. It is recommended that the Planning and Zoning Commission discuss the following items and make a recommendation to the City Council:

1. Screening along the west property line as discussed above.
2. Screening of parking/drive lane areas along the east lot line. Like the west side, Juniper and Bunchberry adjacent to the parking area do not provide screening higher than two feet and are prone to being crushed by plowed snow. Bunchberry like conditions moist and will not withstand drought. A better option in areas immediately adjacent to the parking and drive lane areas are ornamental grasses, many of which grow to better than 3 feet, are drought tolerant and are typically cut/die back to the ground during the winter months.
3. The provision of larger trees and shrubs along the future extension of Iguana Street, in addition to or replacing the Yews shown along the northwest side.
4. The addition of plantings along Viking Blvd.

#### **Architectural Plans and Building Permit**

City Council and Planning and Zoning Commission review is typically not required for architectural plans as long as the material requirements of Section 11-5-3.H can be met. Detailed building elevations and floor plans have not been submitted but will be required prior to City Council approval. The City Building Official and City Planner shall verify that the proposed buildings meet all architectural and structural requirements of the State Building Code and City Codes.

In industrial zoning districts, Section 11-5-3. H requires that proposed buildings shall be faced with a minimum of 50% decorative stone, brick, wood or decorative concrete if they face street rights-of-way or non-industrial zoning districts.

- The land to the east is zoned C-1, Commercial (Nowthen Nursery) and the land to the west is zoned RRA, Rural Residential Agriculture (Agricultural), requiring that the end facades facing both directions be no more than 50% pre-finished metal.
- To be consistent with existing buildings, the east ends of the 5 buildings in Phase 2 would be Nova Brick (see picture below) but this may be an unnecessary expense given that the Phase 3 buildings will block views from the east toward Phase 2. The east ends of Phase 3 buildings should be consistent with the Phase 1 buildings (ends facing the east).

- It may be a better use of resources if the northerly-most buildings in both Phases 2 and 3 (facing the future Iguana Street extension) are faced with a minimum of 50% non-metal, but given the square footage of garage doors, 100% would not be unreasonable (see picture below of Ramsey facility).

It should be noted that the Planning and Zoning Commission previously allowed no split face block (or other higher quality material) on the south side of buildings in Phase 1, in between overhead garage doors. In lieu of this, 100% split face block was required on the east side of all 5 buildings.



Ramsey Facility with 100% Nova Brick on garage door side (facing road)



Nowthen Facility with Nova Brick on ends of buildings (facing entrance drive/nursery to east)

#### **Park and Trail Dedication Requirements**

Subdivision of the subject property is considered a lot reconfiguration such that two existing lots are proposed as two new lots. The City Council has typically waived park and trail dedication requirements under this scenario. The Planning and Zoning Commission should make a recommendation in this regard.

### **Signage**

No additional signage will be permitted along Viking Blvd. Internal site directional and informational signage shall be approved by the Zoning Administrator.

### **DECISION & POSSIBLE MOTIONS**

Decision on the Peterson Name Brand Storage Phases 2 and 3 may be granted by the City Council provided the project is found to be consistent with the policies and provisions of the Comprehensive Plan and Zoning Ordinance regulations as outlined herein. The City Council may motion one of three ways following consideration of the factors as presented:

1. Motion to approve the following provided that the request is consistent with Comprehensive Plan and Zoning Ordinance regulations, subject to the conditions (as may be amended) attached in the findings of fact.
  - a. A CONDITIONAL USE PERMIT to allow deviation in the setback of the entrance drive from the lot line (as was allowed in Phase 1) per Section 11-6-2.G.
  - b. A CONDITIONAL USE PERMIT under Section 11-3-9.C.9 to allow multiple principal buildings on a single parcel.
  - c. A VARIANCE from City Code Section 11-6-2.K requiring a 20 foot setback to the side lot line of Parcel B from the existing house.
  - d. The existing residential use on Parcel B may continue as an INTERIM USE under Section 11-3-9.D.5 of the City's Zoning Ordinance until such time as Phase 3 commences.
2. Motion to deny the application based on a finding that the request is inconsistent with the Comprehensive Plan or intent of the Zoning Ordinance.
3. Motion to table/continue the public hearing until the next meeting to allow consideration of revised plans.

c: Lori Streich, City Clerk  
Ellen Lendt, Deputy Clerk  
Shane Nelson, City Engineer  
Josh Peterson  
Chris Dahn, Bogart Pederson



The City of  
**Nowthen**  
"Where it still feels like country"

8188 199th Avenue NW  
Nowthen, MN 55330  
763-441-1347 Office  
763-441-7013 Fax

<p><b>Zoning Application for:</b></p> <p><input checked="" type="checkbox"/> <b>VARIANCE</b> <input type="checkbox"/> <b>APPEAL</b></p> <p>Base Fee: \$200 Escrow: \$1,000 Public Hearing Fee: \$250 Recording Fee: \$30</p> <p>Amt. Due: <u>\$1,480</u> Amt. Paid: <u>\$1,480</u> Check# <u>1234</u> Receipt# <u>2102111</u></p>	<p>***FOR OFFICE USE ONLY *** FOR OFFICE USE ONLY***</p> <p>Date Application Received: <u>February 3, 2021</u></p> <p>Date Application Complete: <u>February 3, 2021</u> <small>(60 day review period starts from this date)</small></p> <p>Public Hearing Date: <u>March 23, 2021</u></p> <p>City Council Approval/Denial Date: <u>April 9, 2021</u></p> <p>60-Day Extension: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Expires On: <u>May 5, 2021</u></p> <p>Received By: <u>Ellen Lendt</u></p> <p>Return To: <a href="mailto:deputyclerk@nowthenmn.net">deputyclerk@nowthenmn.net</a></p>
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**Instructions:** Please read carefully and answer all questions thoroughly. Only complete applications will be accepted after validation by the Zoning Administrator, and prior to acceptance of required processing fees and escrows.

**Property Information** Street Address: 8335 Viking Blvd, Nowthen, MN 55330

Property Identification Number (PID#): 20-33-25-43-0004

Type of Business or Use Requested: Storage Facility

Legal Description (Attach full description of Metes & Bounds if necessary):  
\_\_\_\_\_

**Applicant Information**

Name: Joshua Peterson Business Name: Name Brand Self Storage LLC

Mailing Address: 901 West Main St., Ste 102

City: Anoka State: MN Zip Code: 55303

Telephone: 612-290-6266 Cell Phone: 612-290-6266 Work: \_\_\_\_\_

e-mail: peterson.josh82@gmail.com

**Property Owner Information** (If other than applicant):

Name: \_\_\_\_\_ Business Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code : \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_ Work: \_\_\_\_\_

e-mail: \_\_\_\_\_

**Description of Request** (attach additional sheets as necessary)

Existing Use of Property: Storage Facility

Description of Proposed Use: Phase 2 of storage facility (extension)

Reason(s) to Approve Request: \_\_\_\_\_

**Please describe any previous applications pertaining to the subject site:**

Project Name: Name Brand Self Storage LLC Date of Application: \_\_\_\_\_

Nature of Previous Request : \_\_\_\_\_

**Required Submittal Information:**

- Site Survey or Site Plan, drawn to scale with detailed information including all primary and accessory structures, patios/decks, fences, driveways, well, and septic system. If a Certificate of Survey is not provided, property lines may have to be marked by registered surveyor so that the Zoning Administrator can verify required setbacks.
  
- Detailed building/construction plans including floor plans, elevation drawings, materials and construction specifications.

**APPLICATION FEES AND EXPENSES:** We the applicant and undersigned property owner agree to provide to the City, in cash or certified check, for deposit in an escrow fund, the amount of \$ \_\_\_\_\_ as partial payment for all fees and estimated future City administrative, planning, legal and engineering fees incurred in processing this request. If the escrow amount is depleted, I agree to furnish additional monies as requested by the City within 10 days of such request. I understand that any amounts not utilized from this escrow fund shall be returned to me, without interest, when all financial obligations to the City have been satisfied. **All fees and expenses are due whether the application is approved or denied.**

I understand and agree that all City-incurred professional fees and expenses associated with the processing of this request and enforcing the terms of this agreement including, but not limited to, attorney's fees are my responsibility as the property owner and will be promptly paid by myself upon billing by the City in the event the escrow fund is depleted. I further understand and agree that as the property owner I must make said payment within 10 days of the date of the invoice. Bills not paid within the 10 days of request for payment by the City shall accrue interest at the rate of 6% per year. Further, if I fail to pay said amounts when due, then the City may certify such costs against any property owned by me within the City limits for collection with the real estate taxes and/or take necessary legal action to recover such costs and I agree that the City shall be entitled to attorney's fees and other costs incurred by the City as a result of such legal action. I knowingly and voluntarily waive all rights to appeal said certification of such expenses against my property under any applicable Minnesota Statutes.

Applicant: Joshua Peterson Date: 2-2-21

Property Owner: Joshua Peterson Date: 2-2-21

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements and are complete to the best of my knowledge.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes 15.99 at such time as it is determined to be complete. Pursuant to Minnesota Statutes 15.99, the City will notify the applicant within fifteen (15) days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Signature of Applicant: Joshua Peterson Date: 2-2-21

Signature of Property Owner: Joshua Peterson Date: 2-2-21

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_



3601 Thurston Avenue  
Anoka, MN 55303  
763.231.5840  
TPC@PlanningCo.com

March 1, 2021

Josh Peterson  
Name Brand Self Storage LLC  
901 West Main street, Suite 102  
Anoka, MN 55303

RE: Nowthen – Peterson Name Brand Self Storage Phases 2 and 3  
TPC FILE: 122.02 - 20.21

Dear Mr. Peterson,

This office serves as the City Planner for the City of Nowthen. The City received an application on January 5, 2021 for a minor subdivision/lot line reconfiguration and for a Conditional Use Permit to allow multiple buildings on a single parcel. A Variance application was received on February 2, 2021 for the house setback. The City Council has 60 days in accordance with Minnesota Statute 15.99 to consider the application and take action to approve or deny the request. The Statute also allows the City to extend the review period an additional 60 days if needed to complete its investigation of the application and make a decision.

Following discussion of the project at the January 2021 Planning and Zoning Commission meeting, revised plans were required to address the site issues and were not received in time for the February meeting.

This letter shall serve as notice that the City is extending the review period an additional 60 days in accordance with Minnesota Statutes 15.99. The deadline for City Council action on the request shall be **May 5, 2021**. Thank you for your continued cooperation and please contact me for any assistance you require regarding the application or with any questions regarding this notice.

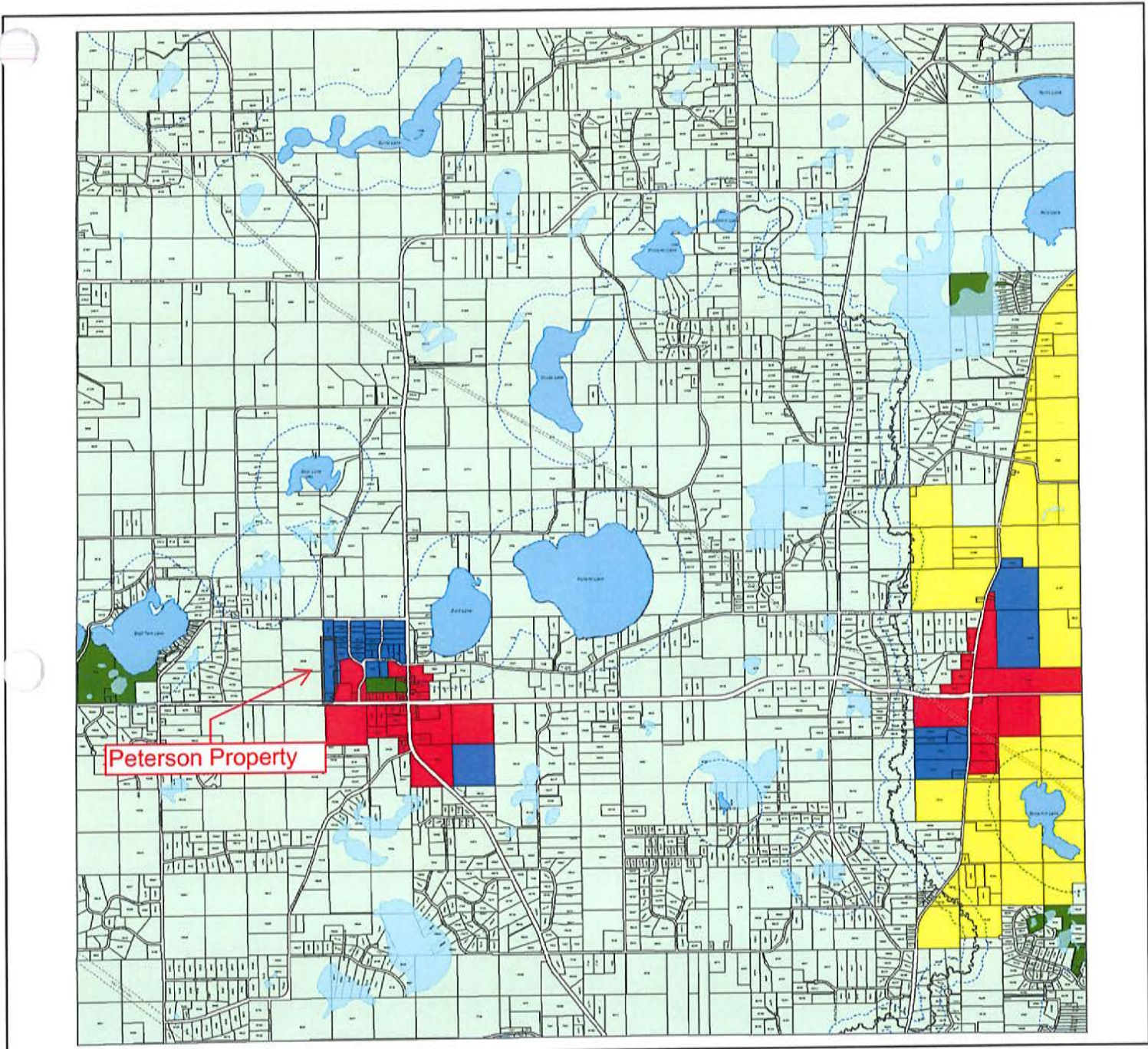
Sincerely,

Elizabeth Stockman  
THE PLANNING COMPANY LLC

c. Lori Streich, City Clerk  
Ellen Lendt, Deputy Clerk

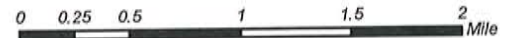
NOTICE: City files must be consulted to verify the zoning classification of property in addition to this map.

# City of Nowthen Zoning Map



## ZONING

- C-1 - Commercial District (568 acres / 2.62%)
- I-1 - Industrial District (359 acres / 1.65%)
- CON - Conservancy District (77 acres / 0.35%)
- LTA - Long Term Agriculture (0 acres / 0%)
- RRA - Rural Residential Agriculture (19,451 acres / 89.6%)
- LRUS - Long Range Urban Service (1,256 acres / 5.78%)
- Shoreland Overlay District



Sources: City of Nowthen, Anoka County, MN DNR, HAA & TPC

Ordinance #38, adopted October 13, 2011  
Revised Shoreland Overlay District February 19, 2014

**TPC**

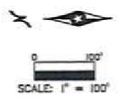
**C**

**Hakanson  
Anderson**



# Certificate of Survey

for  
**Name Brand Self Storage**  
Part of Section 20, Township 33, Range 25  
City of Nowthen, Anoka County, Minnesota



Length	Bearing	Area
07	358.89	200.00
		36°19'27"

- LEGEND:**
- Denotes found iron monument
  - Denotes set iron monument
  - Denotes found aluminum R/FV site
  - Denotes found cast iron monument
  - Denotes metal monument
  - Denotes power pole
  - Denotes telephone pedestal
  - Denotes fiber optic service box
  - Denotes well
  - Denotes propane tank
  - Denotes culvert
  - Denotes wetland
  - Denotes light pole
  - Denotes Jeffrey M. Cohn, LS
  - Denotes Dennis K. Taylor, LS
  - Denotes concrete surface
  - Denotes aluminum surface
  - Denotes gravel surface
  - Denotes barbed wire fence
  - Denotes chain-link fence
  - Denotes overhead electric
  - Denotes tree line
  - Denotes right-of-way
  - Denotes wetland
  - Denotes wetland edge
  - Denotes minor center
  - Denotes tree
  - Denotes post dimension
  - Denotes measured dimension

**EXISTING PROPERTY DESCRIPTION**  
P.D. 20-31-25-43-0002

That part of the West 330.00 feet of the Northwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the north line thereof, (beg south of the north 650.00 feet thereof as measured along the west line thereof), and the North 332.83 feet of the Southwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the west and north lines thereof.

AND

That part of the East 894.00 feet of the West 497.70 feet of the Southwest Quarter of the Southwest Quarter of Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the south line thereof, (beg north of the North 332.83 feet of said Southwest Quarter of the Southwest Quarter, as measured along the west line thereof), and (beg north of the South 650.00 feet of said Southwest Quarter of the Southwest Quarter, as measured along the west line thereof).

AND

That part of the West 332.83 feet of the Southwest Quarter of Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the south line thereof, (beg south of the south line of the North 332.83 feet, as measured along the west line thereof and (beg north of the west line thereof, a distance of 833.30 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 69 degrees 02 minutes 03 seconds, a distance of 323.52 feet to intersect the east line of said West 332.83 feet and there terminating.

**EXISTING PROPERTY DESCRIPTION**  
P.D. 20-31-25-43-0013

That part of the West 332.83 feet of the Southwest Quarter of Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the south line thereof, (beg north of the South 75.00 feet thereof and (beg south of the west line thereof, a distance of 833.30 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 69 degrees 02 minutes 03 seconds, a distance of 323.52 feet to intersect the east line of said West 332.83 feet and there terminating.

**EXISTING FACILITY DESCRIPTION**

An easement for ingress and egress purposes over, under and across the East 33.00 feet of the following described property: That part of the West 332.83 feet of the Southwest Quarter of the Southwest Quarter of Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the south line thereof, (beg north of the South 75.00 feet thereof and (beg south of the west line thereof, a distance of 833.30 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 69 degrees 02 minutes 03 seconds, a distance of 323.52 feet to intersect the east line of said West 332.83 feet and there terminating.

**PROPOSED INGRESS & EGRESS FACILITY DESCRIPTION**

Line A is identified as follows: Commencing at the Southwest Corner of the Southwest Quarter of said Section 20, thence westerly along the south line thereof, a distance of 353.60 feet; thence southerly along the east line of said West 332.83 feet, a distance of 844.14 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 75.47 feet; thence northerly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 323.54 feet to intersect the north line of said Southwest Quarter and there terminating said Line A.

Line B is identified as follows: Commencing at the Southwest Corner of said Southwest Quarter of the Southwest Quarter, thence southerly along the west line thereof, a distance of 833.30 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 69 degrees 02 minutes 03 seconds, a distance of 323.52 feet to intersect the west line of said West 332.83 feet and there terminating said Line B.

**PROPOSED PROPERTY PARCEL A DESCRIPTION**

That part of the West 332.83 feet of the Northwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the north line thereof, (beg south of the North 650.00 feet thereof as measured along the west line thereof), and the North 332.83 feet of the Southwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the west and north lines thereof.

AND

That part of the West 332.83 feet of the Southwest Quarter of the Southwest Quarter of Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the south line thereof, (beg south of the South 75.00 feet thereof and (beg southwesterly and westerly of the following described Line A):

Commencing at the Southwest Corner of the Southwest Quarter of the Southwest Quarter of said Section 20, thence westerly along the south line thereof, a distance of 353.60 feet; thence southerly along the east line of said West 332.83 feet, a distance of 844.14 feet to the point of beginning of Line A to be described, thence southeasterly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 75.47 feet; thence northerly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 323.54 feet to intersect the north line of said Southwest Quarter of the Southwest Quarter and there terminating said Line A.

**PROPOSED ROADWAY EASEMENT DESCRIPTION (PARCEL A)**

A 66.00 foot wide easement for public road right-of-way purposes across the following described property: That part of the West 332.83 feet of the Northwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the north line thereof, (beg south of the North 650.00 feet thereof as measured along the west line thereof).

The centerline of said easement is described as follows: Commencing at the Southwest Corner of the Southwest Quarter of the Southwest Quarter of said Section 20, thence westerly along the west line of said Southwest Quarter of the Southwest Quarter of the Southwest Quarter, a distance of 493.25 feet to the point of beginning of the centerline to be described, thence southerly along the west line of the Southwest Quarter of the Southwest Quarter, a distance of 74.13 feet; thence southeasterly along a tangential curve, convex to the southeast, having a radius of 300.00 feet and a central angle of 37 degrees 33 minutes 24 seconds, thence southeasterly along a line tangent to said described curve, a distance of 833.30 feet; thence southerly along a tangential curve, convex to the northeast, having a radius of 300.00 feet and a central angle of 36 degrees 19 minutes 27 seconds and there terminating said centerline.

**PROPOSED PROPERTY PARCEL B DESCRIPTION**

That part of the North 332.83 feet of the West 497.70 feet of the Southwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the west and north lines thereof, and that part of the West 497.70 feet of said Southwest Quarter of the Southwest Quarter, as measured along the south line thereof, (beg south of said North 332.83 feet of the Southwest Quarter of the Southwest Quarter, as measured along the west line thereof), and (beg north of the South 650.00 feet of said Southwest Quarter of the Southwest Quarter, as measured along the west line thereof), and (beg north of the west line thereof, a distance of 833.30 feet to the point of beginning of the line to be described, thence southeasterly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 75.47 feet; thence northerly deflecting to the right 47 degrees 37 minutes 34 seconds, a distance of 323.54 feet to intersect the north line of said Southwest Quarter of the Southwest Quarter and there terminating said Line A.

**PROPOSED ROADWAY EASEMENT DESCRIPTION (PARCEL B)**

A 66.00 foot wide easement for public road right-of-way purposes across the following described property: That part of the North 332.83 feet of the West 497.70 feet of the Southwest Quarter of the Southwest Quarter, Section 20, Township 33, Range 25, Anoka County, Minnesota, as measured along the west and north lines thereof.

The centerline of said easement is described as follows: Commencing at the southwest corner of said Southwest Quarter of the Southwest Quarter, thence westerly along the west line of said Southwest Quarter of the Southwest Quarter, a distance of 493.25 feet to the point of beginning of the centerline to be described, thence southerly along the west line of the Southwest Quarter of the Southwest Quarter, a distance of 74.13 feet; thence southeasterly along a tangential curve, convex to the southeast, having a radius of 300.00 feet and a central angle of 37 degrees 33 minutes 24 seconds, thence southeasterly along a line tangent to said described curve, a distance of 833.30 feet; thence southerly along a tangential curve, convex to the northeast, having a radius of 300.00 feet and a central angle of 36 degrees 19 minutes 27 seconds and there terminating said centerline.

- SURVEYOR NOTES:**
- This survey was done without the benefit of a title report. No search for recorded or unrecorded easements or restrictions was made by the surveyor. Information such as existing utility descriptions are based upon 2008 survey by Dugan, Pederson & Associates, Inc. P.D. No. 20-31-25-43-0001.
  - Required delineation was performed by Andrew Blum, DWSR Cert. No. 2002 for the subject property in 2004.
  - Parts of the waste edge are digitized per 2017 GIS aerial imagery from MN DNR landowner application.
  - Zoning information shown herein is for reference purposes only. See official City zoning information to confirm zoning.
  - Surveys are based on the Anoka County Coordinate System (NAD 83, 1995 AD).

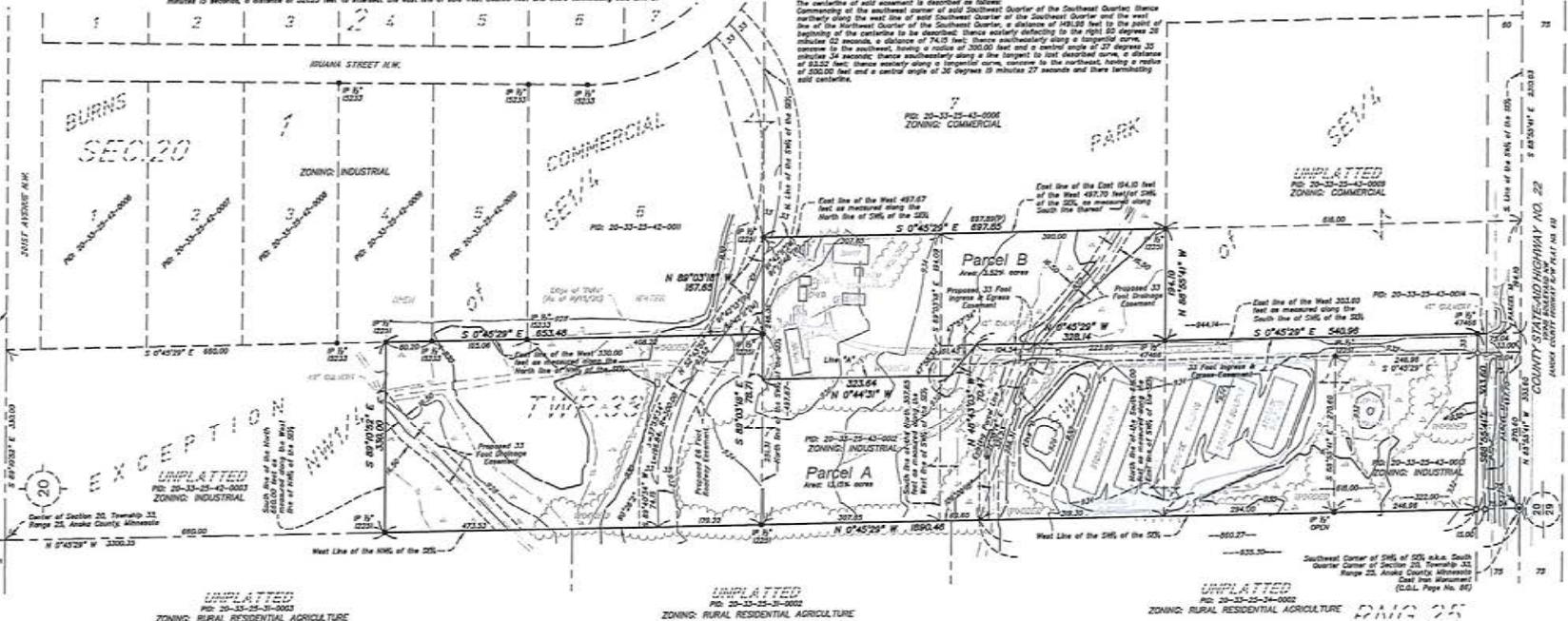
DATE	DESCRIPTION
01/04/2021 <td>DRAWINGS ISSUED TO CITY</td>	DRAWINGS ISSUED TO CITY
02/23/2021 <td>DRAWINGS REVIEWED PER CITY REVIEW</td>	DRAWINGS REVIEWED PER CITY REVIEW
03/07/2021 <td>FINAL CONSTRUCTION PLANS</td>	FINAL CONSTRUCTION PLANS

DATE:	01/04/2021
DESIGN BY:	MM
DRAWN BY:	DJM/MS
CHECKED BY:	CAW/GSB
DWG FILE:	001_P01A10.DWG
FILE NO.:	20-0416.00

Surveyor: *Craig W. Wernman*  
 Date: 01/04/21, Lic. No. 47495

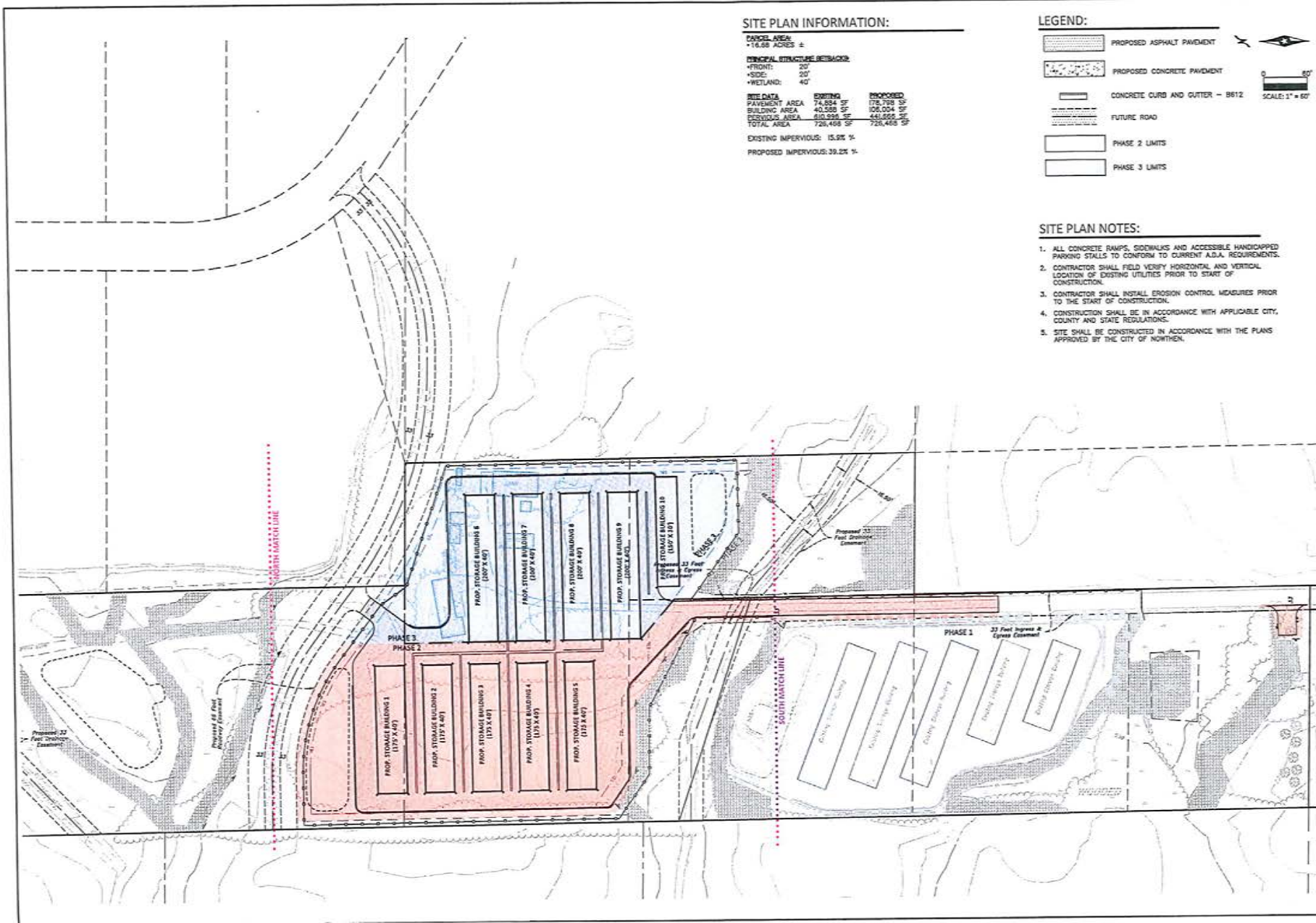


**Proposed Name Brand Self Storage Facility**  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

**BOGART, PEDERSON & ASSOCIATES, INC.**  
 LAND SURVEYORS  
 1000 W. WASHINGTON AVE. SUITE 100  
 ST. PAUL, MN 55102

**Certificate of Survey**

SHEET NO. **V1.0**  
**D**



**SITE PLAN INFORMATION:**

**PARCEL AREA:**  
 \*14.58 ACRES ±

**PRINCIPAL STRUCTURE SETBACKS:**  
 \*FRONT: 30'  
 \*SIDE: 20'  
 \*WETLAND: 40'

**SITE DATA:**

	EXISTING	PROPOSED
PAVEMENT AREA	74,894 SF	176,779 SF
BUILDING AREA	42,558 SF	106,004 SF
PERVIOUS AREA	610,959 SF	441,656 SF
TOTAL AREA	728,409 SF	728,409 SF

EXISTING IMPERVIOUS: 15.9% %  
 PROPOSED IMPERVIOUS: 39.2% %

**LEGEND:**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER - 8612
- FUTURE ROAD
- PHASE 2 LIMITS
- PHASE 3 LIMITS

**SITE PLAN NOTES:**

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY OF NOWTHEN.

REV. NO.	DATE	DESCRIPTION
1	02/07/2021	ISSUED FOR PERMITS
2	02/07/2021	ISSUED FOR PERMITS
3	02/07/2021	ISSUED FOR PERMITS
4	02/07/2021	ISSUED FOR PERMITS
5	02/07/2021	ISSUED FOR PERMITS

DATE: 01/04/2021	DESIGNER: JTB	DRAWN BY: JTB	CHECKED BY: JTB
DATE: 01/04/2021	DESIGNER: JTB	DRAWN BY: JTB	CHECKED BY: JTB
DATE: 01/04/2021	DESIGNER: JTB	DRAWN BY: JTB	CHECKED BY: JTB
DATE: 01/04/2021	DESIGNER: JTB	DRAWN BY: JTB	CHECKED BY: JTB
DATE: 01/04/2021	DESIGNER: JTB	DRAWN BY: JTB	CHECKED BY: JTB

I hereby certify that the plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Christopher J. Boun  
 Date: 07/19/2021 Lic. No. 58428

**BOGART, PEDERSON & ASSOCIATES, INC.**  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

**PHASING PLAN**

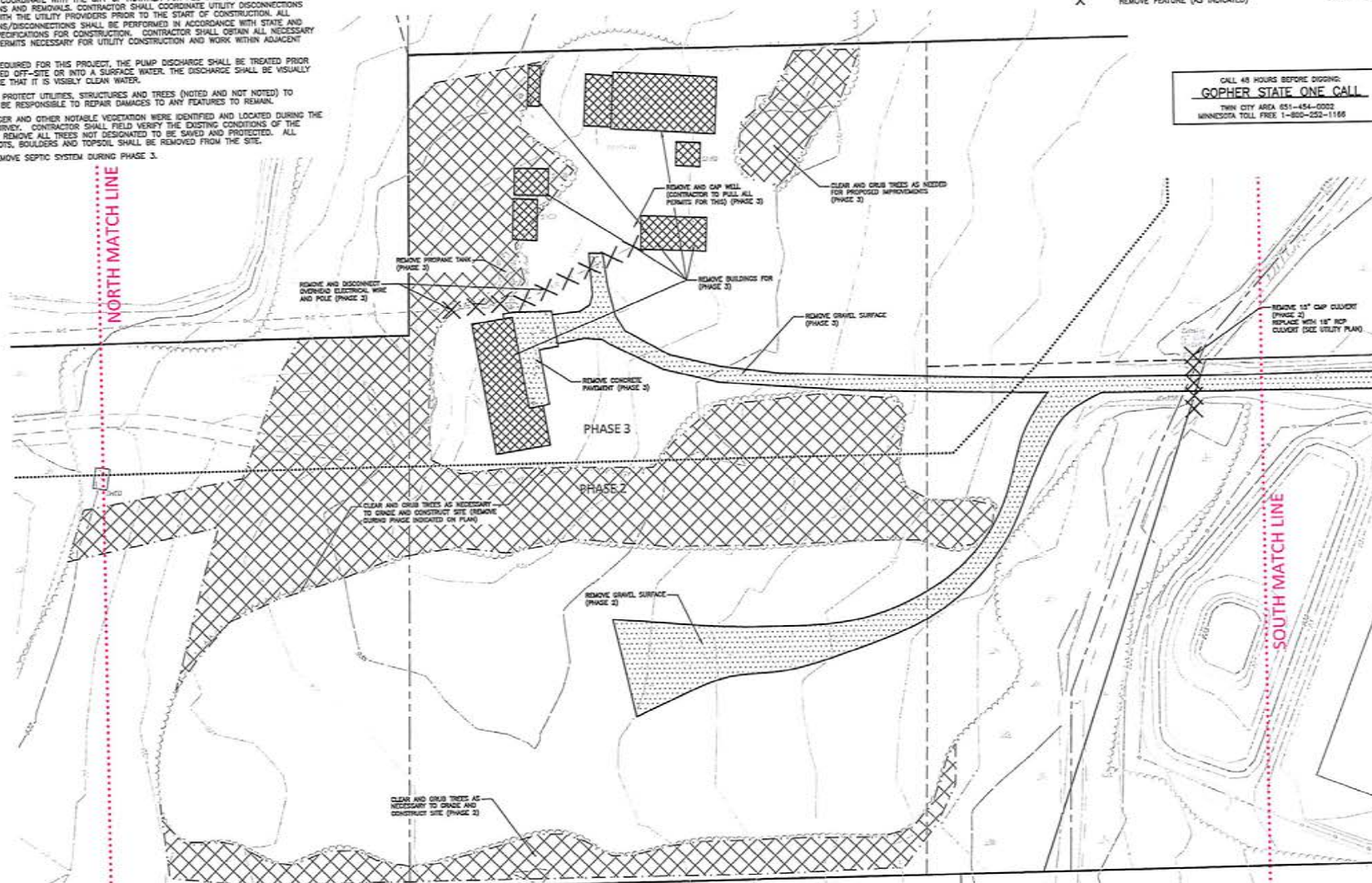
SHEET NO. **C1.0**

**DEMOLITION GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ON-SITE MOUNTS. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, UNDERGROUND GAS, ETC.
- THE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (UNDERGROUND GAS, WATERMAIN, AND STORM SEWER) MAY REQUIRE A PERMIT FROM THE CITY.
- THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AT PROPOSED CONNECTIONS TO EXISTING UTILITIES PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF NORTHEN FOR ALL UTILITY DISCONNECTIONS, SERVICE TERMINATIONS AND REMOVALS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS AND RELOCATIONS WITH THE UTILITY PROVIDERS PRIOR TO THE START OF CONSTRUCTION. ALL SERVICE CONNECTIONS/DISCONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS NECESSARY FOR UTILITY CONSTRUCTION AND WORK WITHIN ADJACENT RIGHT-OF-WAYS.
- IF Dewatering is required for this project, the pump discharge shall be treated prior to being discharged off-site or into a surface water. The discharge shall be visually checked to ensure that it is visibly clean water.
- CONTRACTOR SHALL PROTECT UTILITIES, STRUCTURES AND TREES (NOTED AND NOT NOTED) TO REMAIN AND SHALL BE RESPONSIBLE TO REPAIR DAMAGES TO ANY FEATURES TO REMAIN.
- TREES 6" AND LARGER AND OTHER NOTABLE VEGETATION WERE IDENTIFIED AND LOCATED DURING THE COURSE OF THE SURVEY. CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE PROJECT AREA AND REMOVE ALL TREES NOT DESIGNATED TO BE SAVED AND PROTECTED. ALL TREES, DEBRIS, ROOTS, BOULDERS AND TOPSOIL SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR TO REMOVE SEPTIC SYSTEM DURING PHASE 3.

**LEGEND:**

-  REMOVE PAVEMENT SECTION (AS INDICATED)
-  REMOVE BUILDING (AS INDICATED)
-  REMOVE EXISTING TREES (AS INDICATED)
-  REMOVE FEATURE (AS INDICATED)



CALL 48 HOURS BEFORE DIGGING:  
**GOPHER STATE ONE CALL**  
 TWIN CITY AREA 651-454-0002  
 MINNESOTA TOLL FREE 1-800-252-1166

REV. NO.	DATE	DESCRIPTION
1	02/24/2021	DRAWING REVISION FOR CITY REVIEW
2	02/24/2021	FINAL CONSTRUCTION PLANS

DATE:	02/24/2021
DESIGN BY:	BLM
CHECKED BY:	BLM
DRAWN BY:	BLM
FILE NO.:	20-241515-01

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Northen, Anoka County, MN  
**CENTRAL REMOVALS PLAN**





**BOGART, PEDERSON & ASSOCIATES, INC.**  
 1500 UNIVERSITY AVENUE  
 ST. PAUL, MN 55108  
 TEL: 651.352.1339 FAX: 651.352.1344

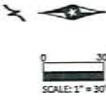
Signature: Christopher A. Bohn  
 Date: 02/25/2021, Lic. No. 28928

SHEET NO.  
**C2.1**



**LEGEND:**

-  REMOVE PAVEMENT SECTION (AS INDICATED).
-  REMOVE BUILDING (AS INDICATED)
-  REMOVE EXISTING TREES (AS INDICATED)
-  REMOVE FEATURE (AS INDICATED)




**DEMOLITION GENERAL NOTES:**

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ON-SITE AGENTS. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, UNDERGROUND GAS, ETC.
2. THE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (UNDERGROUND GAS, WATERMAIN, AND STORM SEWER) MAY REQUIRE A PERMIT FROM THE CITY.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AT PROPOSED CONNECTIONS TO EXISTING UTILITIES PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL COORDINATE WITH THE CITY OF NORTHEN FOR ALL UTILITY DISCONNECTIONS, SERVICE TERMINATIONS AND RELOCATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS AND RELOCATIONS WITH THE UTILITY PROVIDERS PRIOR TO THE START OF CONSTRUCTION. ALL SERVICE CONNECTIONS/DISCONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS NECESSARY FOR UTILITY CONSTRUCTION AND WORK WITHIN ADJACENT RIGHT-OF-WAYS.
5. IF DENATURING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.
6. CONTRACTOR SHALL PROTECT UTILITIES, STRUCTURES AND TREES (NOTED AND NOT NOTED) TO REMAIN AND SHALL BE RESPONSIBLE TO REPAIR DAMAGES TO ANY FEATURES TO REMAIN.
7. TREES 6" AND LARGER AND OTHER NOTABLE VEGETATION WERE IDENTIFIED AND LOCATED DURING THE COURSE OF THE SURVEY. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS OF THE PROJECT AREA AND REMOVE ALL TREES NOT DESIGNATED TO BE SAVED AND PROTECTED. ALL TREES, DEBRIS, ROOTS, BOULDERS AND TOPSOIL SHALL BE REMOVED FROM THE SITE.
8. CONTRACTOR TO REMOVE SEPTIC SYSTEM DURING PHASE 3.

<p>1 07/27/2011 REVISIONS</p>	<p>2 07/27/2011 REVISIONS</p>	<p>3 07/27/2011 REVISIONS</p>	<p>4 07/27/2011 REVISIONS</p>	<p>5 07/27/2011 REVISIONS</p>	<p>6 07/27/2011 REVISIONS</p>	<p>7 07/27/2011 REVISIONS</p>	<p>8 07/27/2011 REVISIONS</p>
<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>
<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>	<p>REV. NO.</p>
<p>DESCRIPTION</p>							
<p>ISSUED FOR CITY REVIEW</p>							
<p>FINAL CONSTRUCTION PLAN</p>							

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed:  Christopher J. Olin  
 Date: 07/19/2011 Lic. No. 54828

**Proposed Name Brand Self Storage Facility**

8359 Viking Blvd.  
City of Newneten, Anoka County, MN

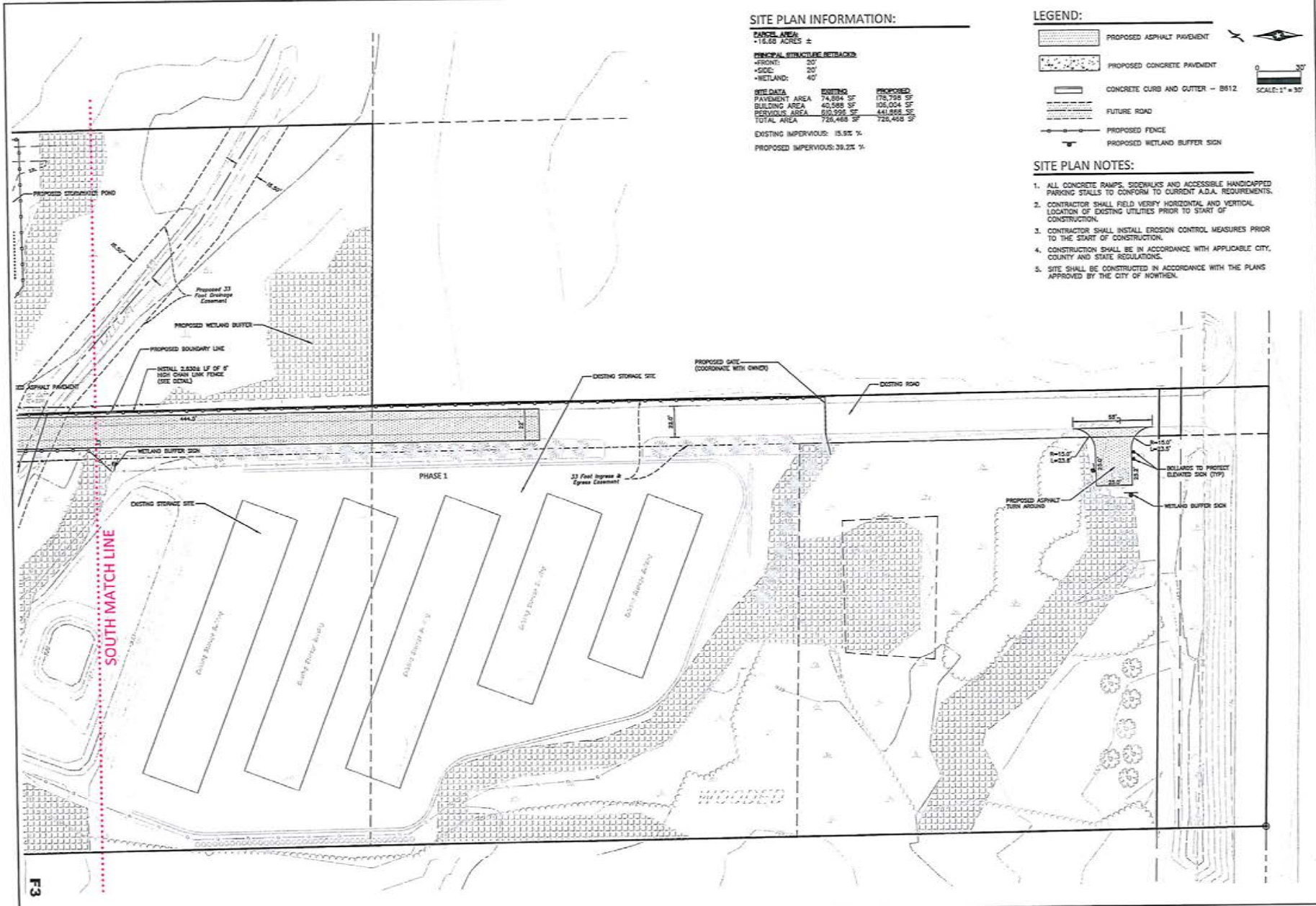
**BOGART, PEDERSON & ASSOCIATES, INC.**

LAND SURVEYORS  
PLANNING ARCHITECTURAL SERVICES

16715 163RD STREET, PARKVILLE, MN 55124

NORTH REMOVALS PLAN

<p style="text-align: center; font-size: small;">CALL 48 HOURS BEFORE DIGGING: <b>GOPHER STATE ONE CALL</b></p> <p style="text-align: center; font-size: x-small;">TWIN CITY AREA 651-434-0002 MINNESOTA TOLL FREE 1-800-325-1166</p>	C2.2
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**SITE PLAN INFORMATION:**

**PARCEL AREA:**  
 • 15.68 ACRES ±

**PRINCIPAL STRUCTURE RETRACTOR:**  
 -FRONT: 20'  
 -SIDE: 20'  
 -WETLAND: 40'

**SITE DATA:**

	EXISTING	PROPOSED
PAVEMENT AREA	74,894 SF	176,798 SF
BUILDING AREA	42,588 SF	106,004 SF
PERVIOUS AREA	810,956 SF	441,868 SF
TOTAL AREA	728,438 SF	728,438 SF

EXISTING IMPERVIOUS: 15.9% %  
 PROPOSED IMPERVIOUS: 39.2% %

**LEGEND:**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER -- 8812
- FUTURE ROAD
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER SIGN

**SITE PLAN NOTES:**

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY OF NOWTHEN.

DATE: 01/20/2021	REV. NO.:	DATE:	DESCRIPTION:	DESIGNER:	DATE:	REVISION:	DESCRIPTION:
DESIGNED BY: JMB	1	01/20/2021	CHANGE SHEET TO CITY	BOGART, PETERSON & ASSOCIATES, INC.	01/20/2021	1	CHANGE SHEET TO CITY REVIEW
CHECKED BY: JMB	2	01/21/2021	FINAL CONSTRUCTION PLANS	BOGART, PETERSON & ASSOCIATES, INC.	01/21/2021	2	FINAL CONSTRUCTION PLANS
DWG FILE: _SITE_006				BOGART, PETERSON & ASSOCIATES, INC.			
FILE NO.: _20-101300				BOGART, PETERSON & ASSOCIATES, INC.			
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.							
Signed: Christopher J. Dahn Date: 01/19/2021 Lic. No. 54528							
<b>BOGART, PETERSON &amp; ASSOCIATES, INC.</b> 1000 W. WISCONSIN AVENUE MINNEAPOLIS, MN 55408 TEL: 612-338-8125 FAX: 612-338-8111							
Proposed Name Brand Self Storage Facility 8350 Viking Blvd. City of Nowthen, Anoka County, MN SOUTH SITE AND DIMENSION PLAN							
SHEET NO.							
<b>C3.0</b>							

**SITE PLAN INFORMATION:**

**PARCEL AREA:**  
 ±16.66 ACRES ±

**PERIMETER DIMENSIONS:**  
 \*FRONT: 20'  
 \*SIDE: 20'  
 \*WETLAND: 40'

**SITE DATA:**

	EXISTING	PROPOSED
PAVEMENT AREA	74,624 SF	178,798 SF
BUILDING AREA	40,588 SF	106,204 SF
DEVELOP. AREA	810,268 SF	441,695 SF
TOTAL AREA	725,468 SF	725,468 SF

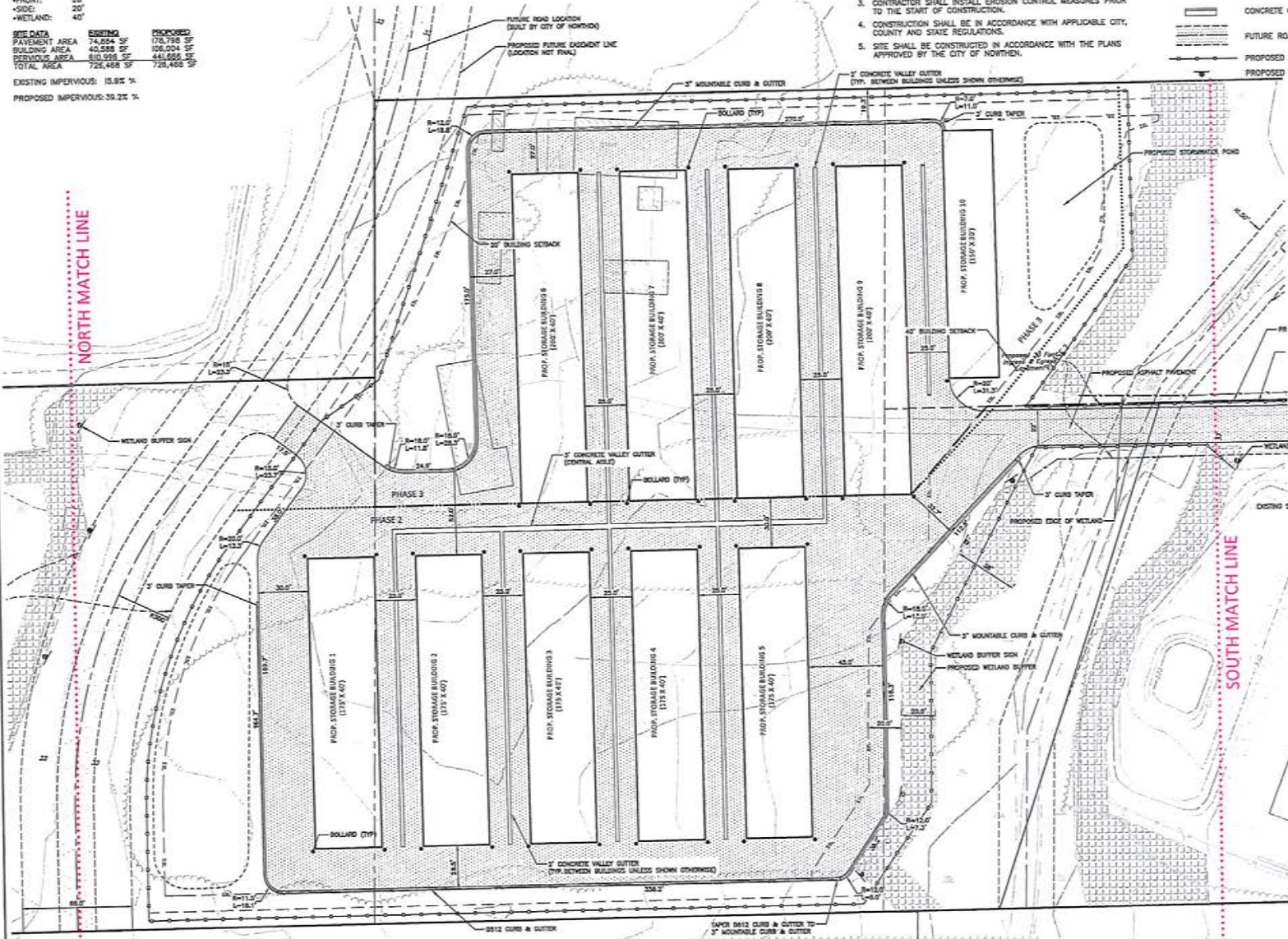
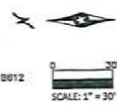
EXISTING IMPERVIOUS: 15.8% %  
 PROPOSED IMPERVIOUS: 39.2% %

**SITE PLAN NOTES:**

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY OF NORTHEN.

**LEGEND:**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- CONCRETE CURB & GUTTER - 0612
- FUTURE ROAD
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER SIGN



REV. NO.	DATE	DESCRIPTION
1	02/02/2021	ISSUED FOR CITY REVIEW
2	03/02/2021	FOR CONSTRUCTION PLAN

DATE:	07/04/2021
DESIGN BY:	MM
CHECKED BY:	MM
DATE:	07/04/2021
FILE NO.:	20-011509

Signature: Christopher J. Bink  
 Date: 07/03/2021 Lic. No. 54038

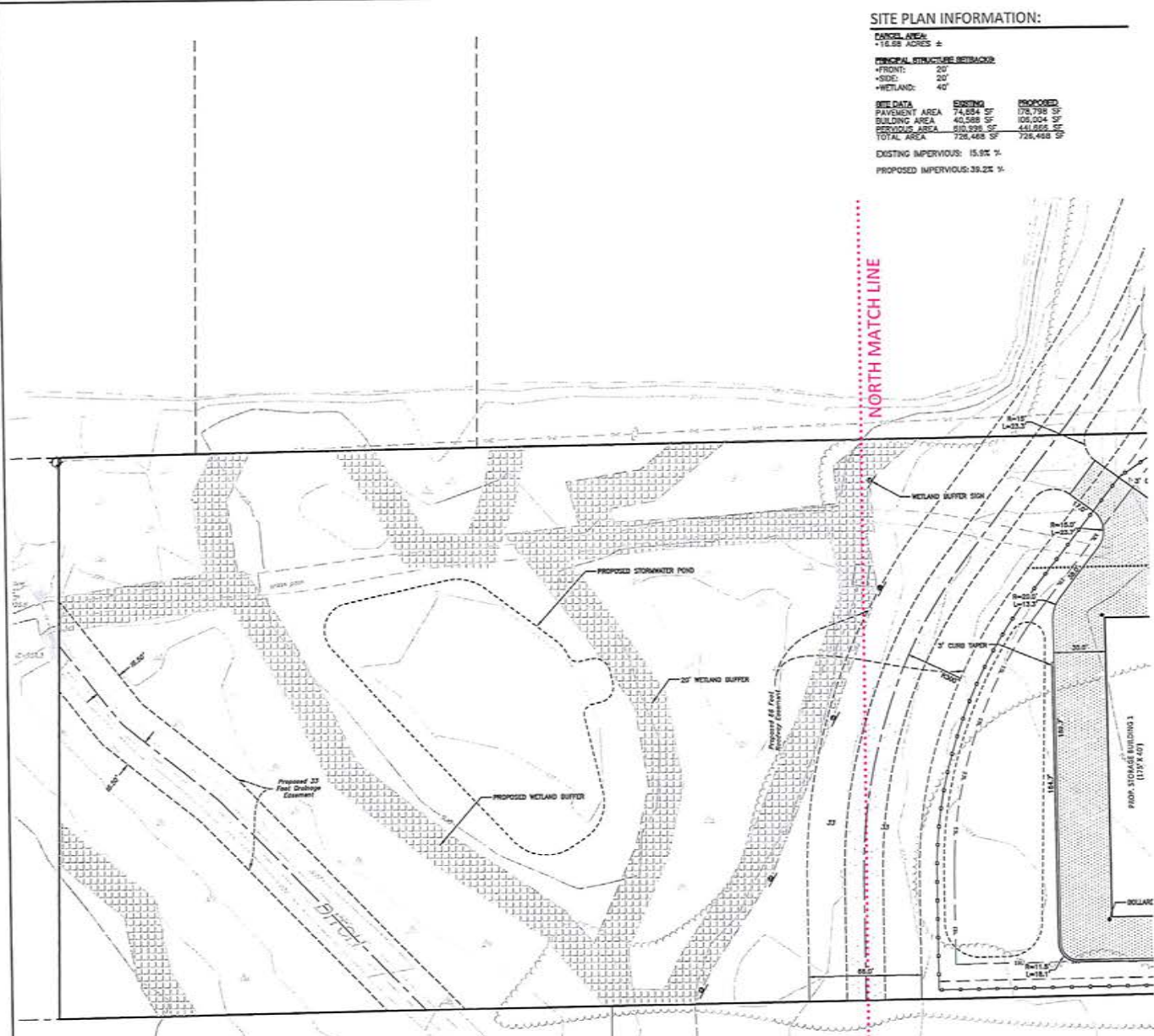
**BOGART, PEDERSON & ASSOCIATES, INC.**  
 LAND SURVEYORS  
 1000 UNIVERSITY AVENUE  
 HERFORD, MINN. 56542-1000  
 TEL: 763-887-7400 FAX: 763-887-7401

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Northen, Anoka County, MN

SHEET NO. **C3.1**

CENTRAL SITE AND DIMENSION PLAN

1/2/2021 4:33 PM \\pds\cadd\2021\20-011509\20-011509.dwg User: cpederson



**SITE PLAN INFORMATION:**

**PARCEL AREA:**  
 • 14.88 ACRES ±

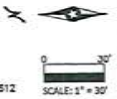
**PRINCIPAL STRUCTURE SETBACKS:**  
 • FRONT: 20'  
 • SIDE: 20'  
 • WETLAND: 40'

SET DATA	EXISTING	PROPOSED
PAVEMENT AREA	74,854 SF	178,798 SF
BUILDING AREA	40,588 SF	108,004 SF
PERVIOUS AREA	810,939 SF	441,855 SF
TOTAL AREA	726,481 SF	726,488 SF

EXISTING IMPERVIOUS: 15.9% %  
 PROPOSED IMPERVIOUS: 39.2% %

**LEGEND:**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER - B512
- FUTURE ROAD
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER SIGN



**SITE PLAN NOTES:**

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING SPACES TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY OF NORTHEN.

REV	DATE	DESCRIPTION
1	07/27/2021	CHANGES ISSUED TO CITY
2	07/27/2021	CHANGES RECEIVED PER CITY REVIEW
3	07/27/2021	FINAL CONSTRUCTION PLANS

DATE:	07/24/2021	DESIGNER:	JAN	DRAWN:	JAN
DESIGN BY:	JAN	CHECK BY:	JAN	DATE PLOTTED:	07/27/2021
PROJECT NO.:	21-001	FILE NO.:	21-001-001		

I hereby certify that this plan, specification or report was prepared by me or under my direct professional supervision and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: Christopher J. Dain  
 Date: 07/27/2021 Lic. No. 56628

---

**BOGART, PEDERSON & ASSOCIATES, INC.**

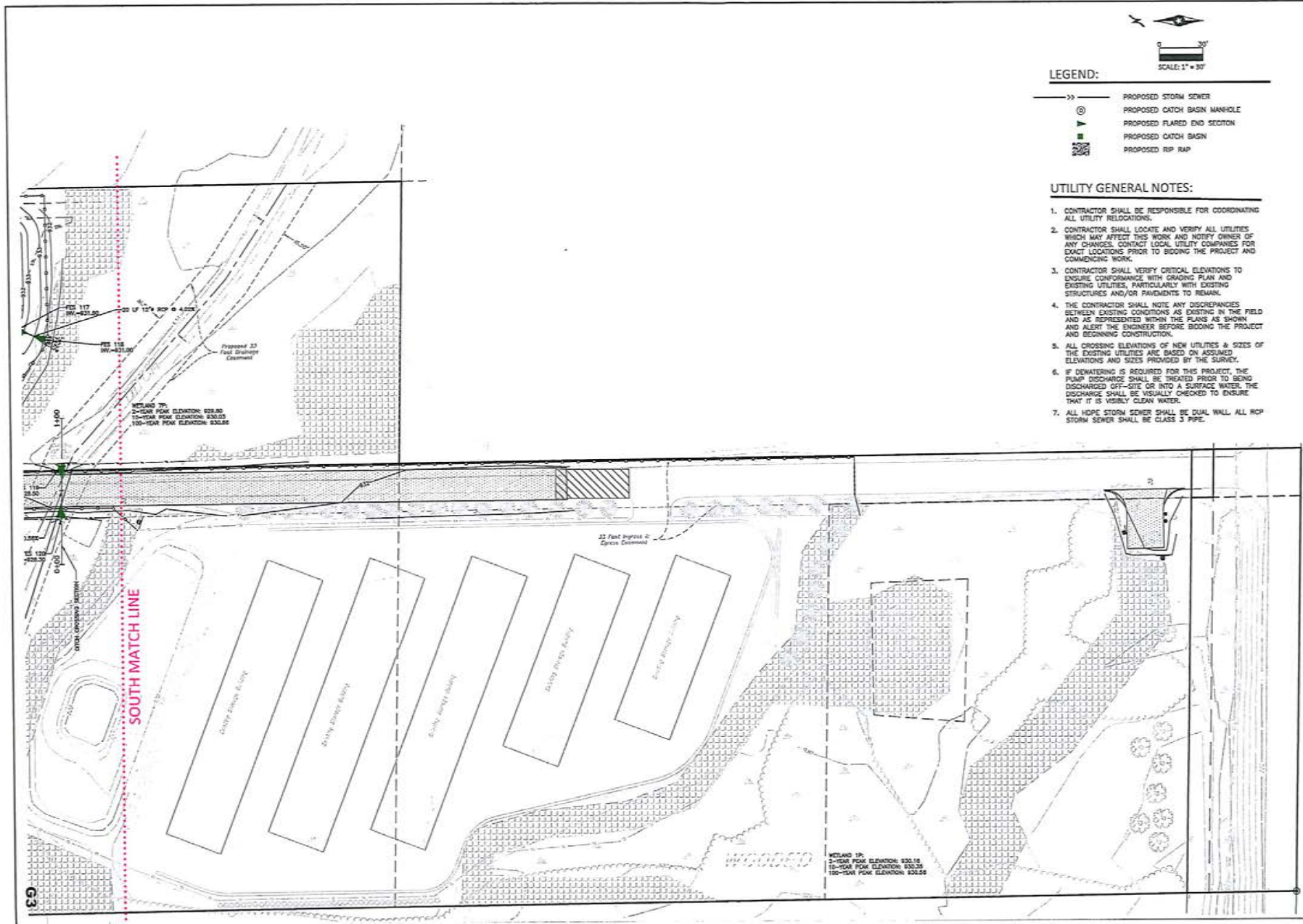
1000 UNIVERSITY AVENUE  
 SUITE 200  
 NORTHEN, MINNESOTA 55056  
 TEL: 763-833-8187 FAX: 763-833-8114

---

**Proposed Name Brand Self Storage Facility**  
 8359 Viking Blvd.  
 City of Northen, Anoka County, MN  
 NORTH SITE AND DIMENSION PLAN

---

SHEET NO. **C3.2**



**LEGEND:**

- >>— PROPOSED STORM SEWER
- ⊙ PROPOSED CATCH BASIN MANHOLE
- ▣ PROPOSED FLARED END SECTION
- ▣ PROPOSED CATCH BASIN
- ▣ PROPOSED RIP RAP

**UTILITY GENERAL NOTES:**

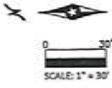
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY RELOCATIONS.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN AND EXISTING UTILITIES, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN.
4. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS EXISTING IN THE FIELD AND AS REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
5. ALL CROSSING ELEVATIONS OF NEW UTILITIES & SIZES OF THE EXISTING UTILITIES ARE BASED ON ASSUMED ELEVATIONS AND SIZES PROVIDED BY THE SURVEY.
6. IF DEWATERING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAR WATER.
7. ALL HOPE STORM SEWER SHALL BE DUAL WALL. ALL RCP STORM SEWER SHALL BE CLASS 3 PIPE.



<p>Proposed Name Brand Self Storage Facility                  8359 Viking Blvd.                  City of Novatthen, Anoka County, MN</p>		<p><b>BOGART, PEDERSON &amp; ASSOCIATES, INC.</b>                  CIVIL ENGINEERS                  1425 WISCONSIN STREET, SUITE 200, WILKINA, MN 55122</p>		<p>DATE: 07/19/2021                  REV. NO.: 01</p>	<p>DESCRIPTION: STORM SEWER AND RCP                  01/23/2021: STORM SEWER AND RCP REVIEW                  03/23/2021: STORM SEWER AND RCP REVIEW                  07/19/2021: FINAL CONSTRUCTION PLANS</p>
<p>DESIGN BY: BJS                  CHECKED BY: BJS</p>	<p>DATE: 07/19/2021</p>	<p>FILE NO.: 20-10109</p>	<p>PROJECT: 20-10109</p>	<p>DATE: 07/19/2021</p>	<p>PROJECT: 20-10109</p>
<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>Signed: Christopher J. Bohm                  Date: 07/19/2021 Lic. No. 88424</p>					
<p>SOUTH UTILITY PLAN</p>					
<p>SHEET NO. C4.0</p>					





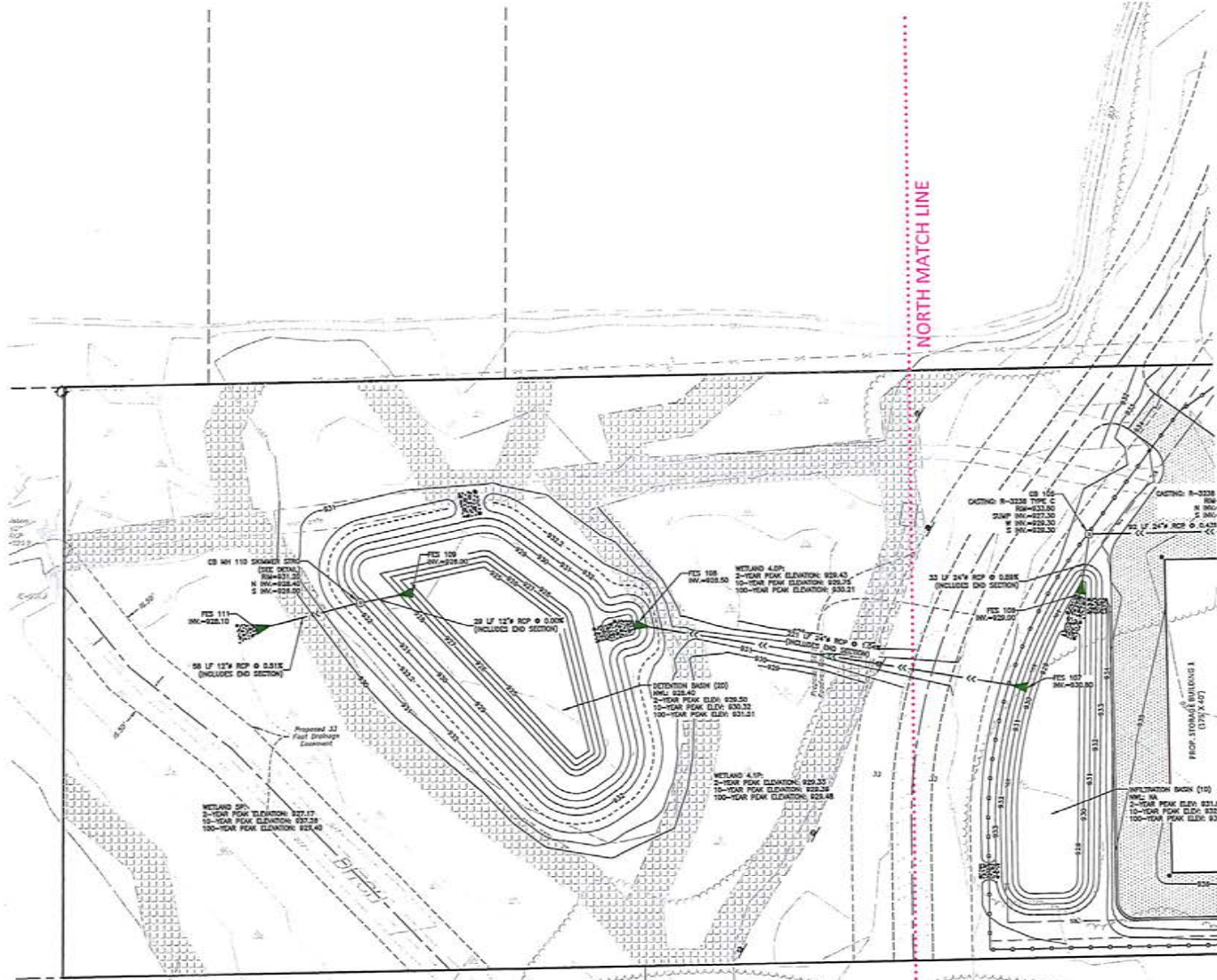


**LEGEND:**

- >>— PROPOSED STORM SEWER
- ⊙ PROPOSED CATCH BASIN MANHOLE
- ▽ PROPOSED FLARED END SECTION
- PROPOSED CATCH BASIN
- ▨ PROPOSED RIP RAP

**UTILITY GENERAL NOTES:**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY RELOCATIONS.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN AND EXISTING UTILITIES, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN.
4. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS EXISTING IN THE FIELD AND AS REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
5. ALL CROSSING ELEVATIONS OF NEW UTILITIES & SIZES OF THE EXISTING UTILITIES ARE BASED ON ASSUMED ELEVATIONS AND SIZES PROVIDED BY THE SURVEY.
6. IF DOWATERING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.
7. ALL HDPE STORM SEWER SHALL BE DUAL WALL ALL RCP STORM SEWER SHALL BE CLASS 3 PIPE.



NORTH MATCH LINE

REV	DATE	DESCRIPTION
1	06/21/2021	ISSUANCE ISSUED TO CITY
2	07/27/2021	ISSUANCE REVISED PER CITY REVIEW
3	07/27/2021	FINAL CONSTRUCTION PLANS

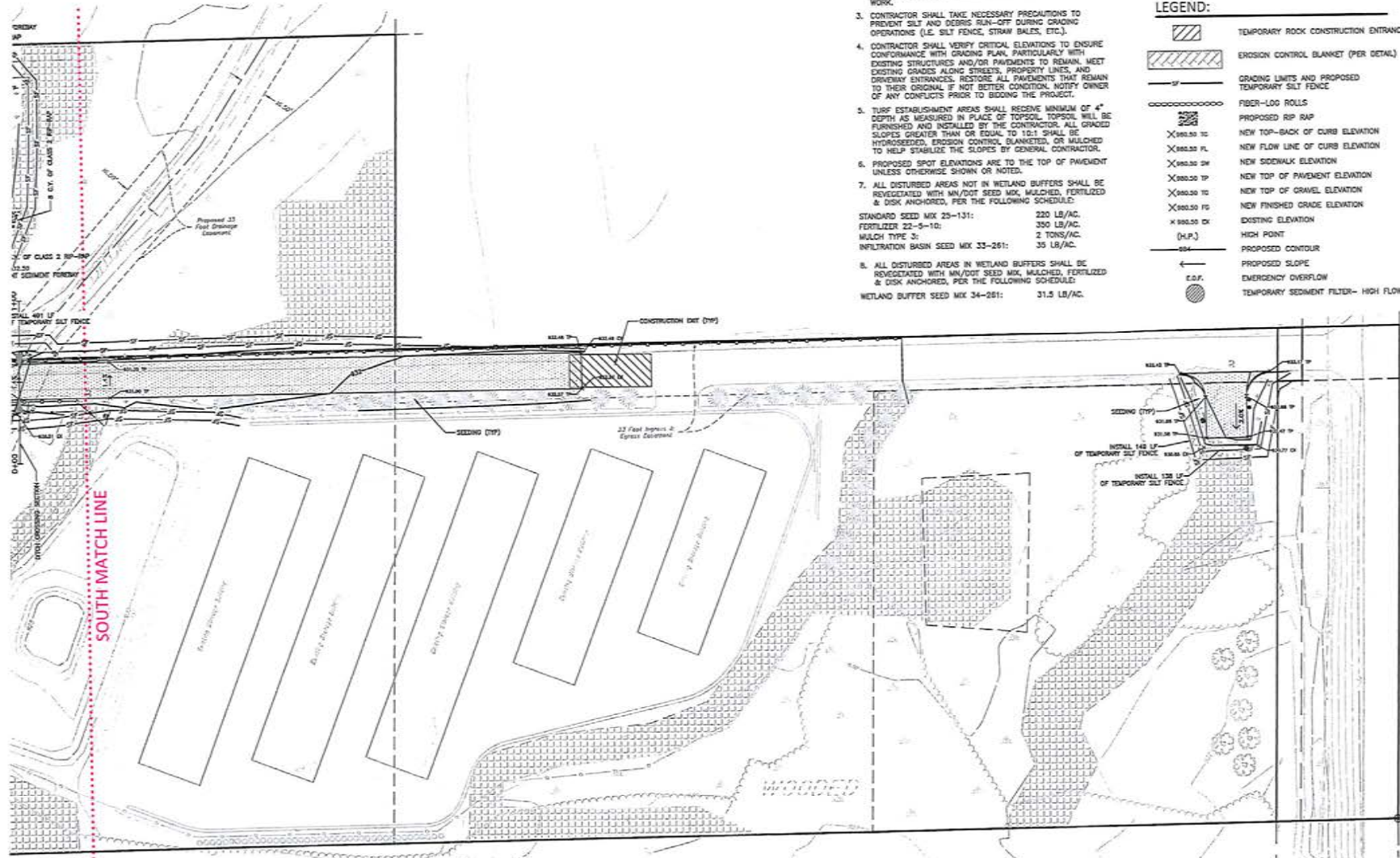
DATES: 01/04/2021  
 DESIGN BY: MAM  
 DRAWN BY: MAM  
 CHECKED BY: CJD  
 DWG FILE: JWBK  
 FILE NO.: 20-0415.00

I hereby certify that this plan, specification, or report was prepared and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signed: Christopher J. Olson  
 Date: 07/27/2021 Lic. No. 54248



**Bogart, Pederson & Associates, Inc.**  
 400 UNIVERSITY AVENUE  
 PROFESSIONAL SERVICES  
 161 N. WISCONSIN ST., SUITE 200, MINNEAPOLIS, MN 55401-3922

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN  
 NORTH UTILITY PLAN  
 SHEET NO. **C4.2**



**GRADING GENERAL NOTES:**

1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 10:1 SHALL BE HYDROSEEDED, EROSION CONTROL BLANKETTED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
6. PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE SHOWN OR NOTED.
7. ALL DISTURBED AREAS NOT IN WETLAND BUFFERS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:  
 STANDARD SEED MIX 23-131: 220 LB/AC.  
 FERTILIZER 22-5-10: 150 LB/AC.  
 MULCH TYPE 3: 2 TONS/AC.  
 INFILTRATION BASIN SEED MIX 33-261: 35 LB/AC.
8. ALL DISTURBED AREAS IN WETLAND BUFFERS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:  
 WETLAND BUFFER SEED MIX 34-261: 31.5 LB/AC.



**LEGEND:**

	TEMPORARY ROCK CONSTRUCTION ENTRANCE
	EROSION CONTROL BLANKET (PER DETAIL)
	GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
	FIBER-LOG ROLLS
	PROPOSED RIP RAP
X 880.50 TO	NEW TOP-BACK OF CURB ELEVATION
X 880.50 PL	NEW FLOW LINE OF CURB ELEVATION
X 880.50 SW	NEW SIDEWALK ELEVATION
X 880.50 TP	NEW TOP OF PAVEMENT ELEVATION
X 880.50 TO	NEW TOP OF GRAVEL ELEVATION
X 880.50 FS	NEW FINISHED GRADE ELEVATION
X 880.50 DT	EXISTING ELEVATION
(H.P.)	HIGH POINT
	PROPOSED CONTOUR
	PROPOSED SLOPE
	EMERGENCY OVERFLOW
	TEMPORARY SEDIMENT FILTER- HIGH FLOW

REV. NO.	DATE	DESCRIPTION
1	01/04/2021	ISSUED FOR PERMITS
2	02/02/2021	ISSUED FOR PERMITS
3	03/02/2021	ISSUED FOR PERMITS

DATE: 01/04/2021  
 CHECKED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 01/04/2021  
 FILE NO.: 20-0415100

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signature: Christopher J. Doan  
 Date: 01/04/2021 Lic. No. 58828

**BOGART, PEDERSON & ASSOCIATES, INC.**  
 1400 W. WISCONSIN ST. SUITE 200  
 MINNEAPOLIS, MN 55404  
 TEL: 612.338.8888 FAX: 612.338.8888

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

SHEET NO. **C5.0**  
 SOUTH GRADING PLAN



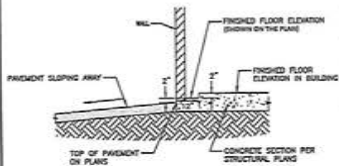
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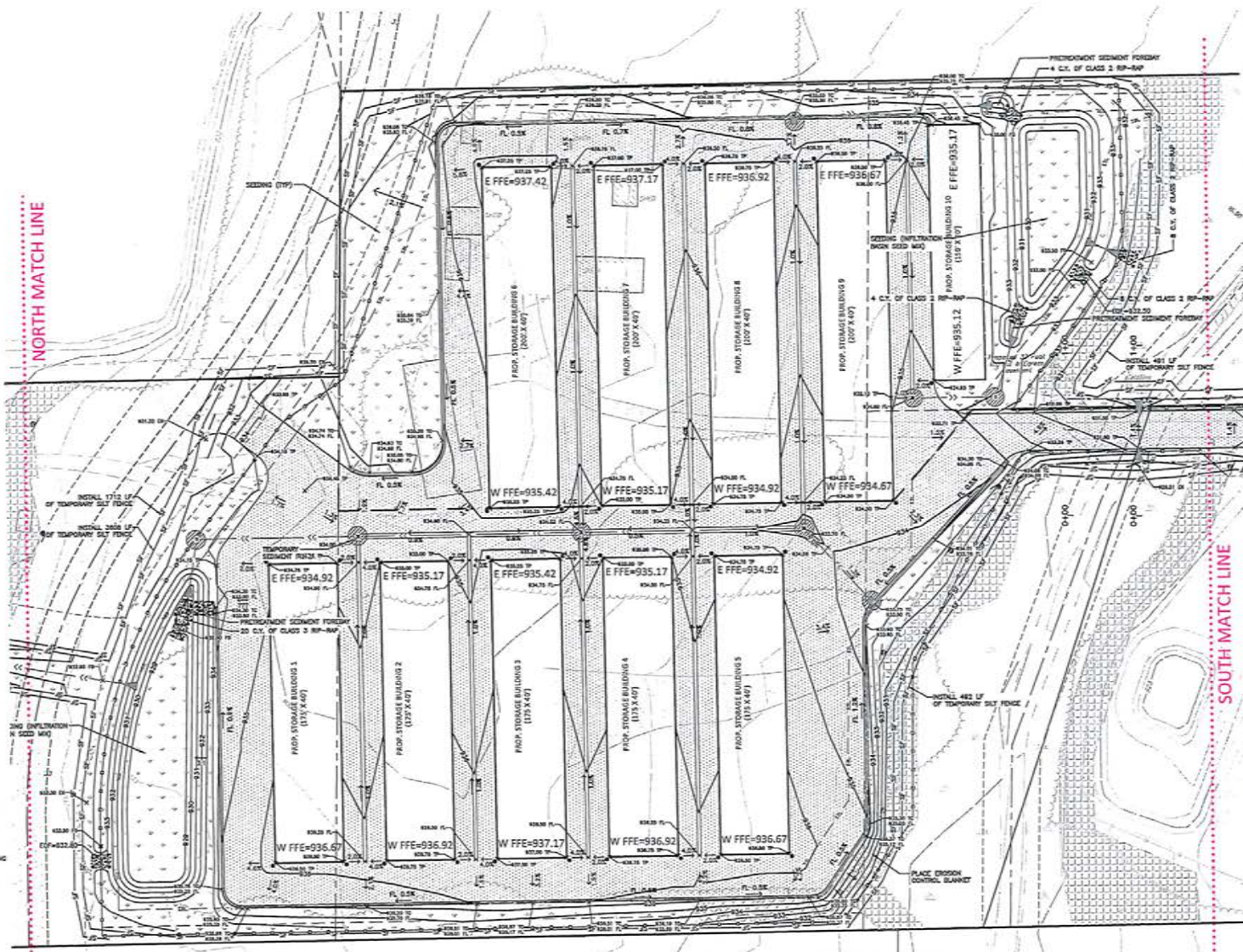
- TEMPORARY ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET (PER DETAIL)
- GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
- FIBER-LOO ROLLS
- PROPOSED RIP RAP
- NEW TOP-BACK OF CURB ELEVATION
- NEW FLOW LINE OF CURB ELEVATION
- NEW SIDEWALK ELEVATION
- NEW TOP OF PAVEMENT ELEVATION
- NEW TOP OF GRAVEL ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- HIGH POINT
- PROPOSED CONTOUR
- PROPOSED SLOPE
- EMERGENCY OVERTFLOW
- TEMPORARY SEDIMENT FILTER- HIGH FLOW

GRADING GENERAL NOTES:

- THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW SALCS, ETC.).
- CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN, MEET EXISTING CRUISES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
- TRIP ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 10:1 SHALL BE HYDROSEDED, EROSION CONTROL BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
- PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE SHOWN OR NOTED.
- ALL DISTURBED AREAS NOT IN WETLAND BUFFERS SHALL BE REVEGETATED WITH M/N/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:  
 STANDARD SEED MIX 25-131: 220 LB/AC.  
 FERTILIZER 22-5-10: 350 LB/AC.  
 MULCH TYPE 3: 2 TONS/AC.  
 INFILTRATION BASIN SEED MIX 33-261: 35 LB/AC.
- ALL DISTURBED AREAS IN WETLAND BUFFERS SHALL BE REVEGETATED WITH M/N/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:  
 WETLAND BUFFER SEED MIX 24-261: 31.5 LB/AC.



FINISHED FLOOR DETAIL N.T.S.



REV. NO.	DATE	DESCRIPTION
1	07/24/2021	ISSUED FOR PERMIT REVIEW
2	07/24/2021	ISSUED FOR PERMIT REVIEW
3	07/24/2021	FINAL CONSTRUCTION PLANS

DESIGNED BY: JMB  
 CHECKED BY: JMB  
 DRAWN BY: JMB  
 DATE: 07/24/2021  
 FILE NO.: 20-541303

Signed: Christopher J. Babin  
 Date: 07/15/2021 Lic. No. 56268

**BOGART, PEDERSON & ASSOCIATES, INC.**

1000 W. WISCONSIN ST.  
 SUITE 200  
 WISCONSIN, WI 53091-1411  
 TEL: 414-224-8888 FAX: 414-224-8889

Proposed Name Brand Self  
 Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN  
 CENTRAL GRADING PLAN

SHEET NO. **C5.1**



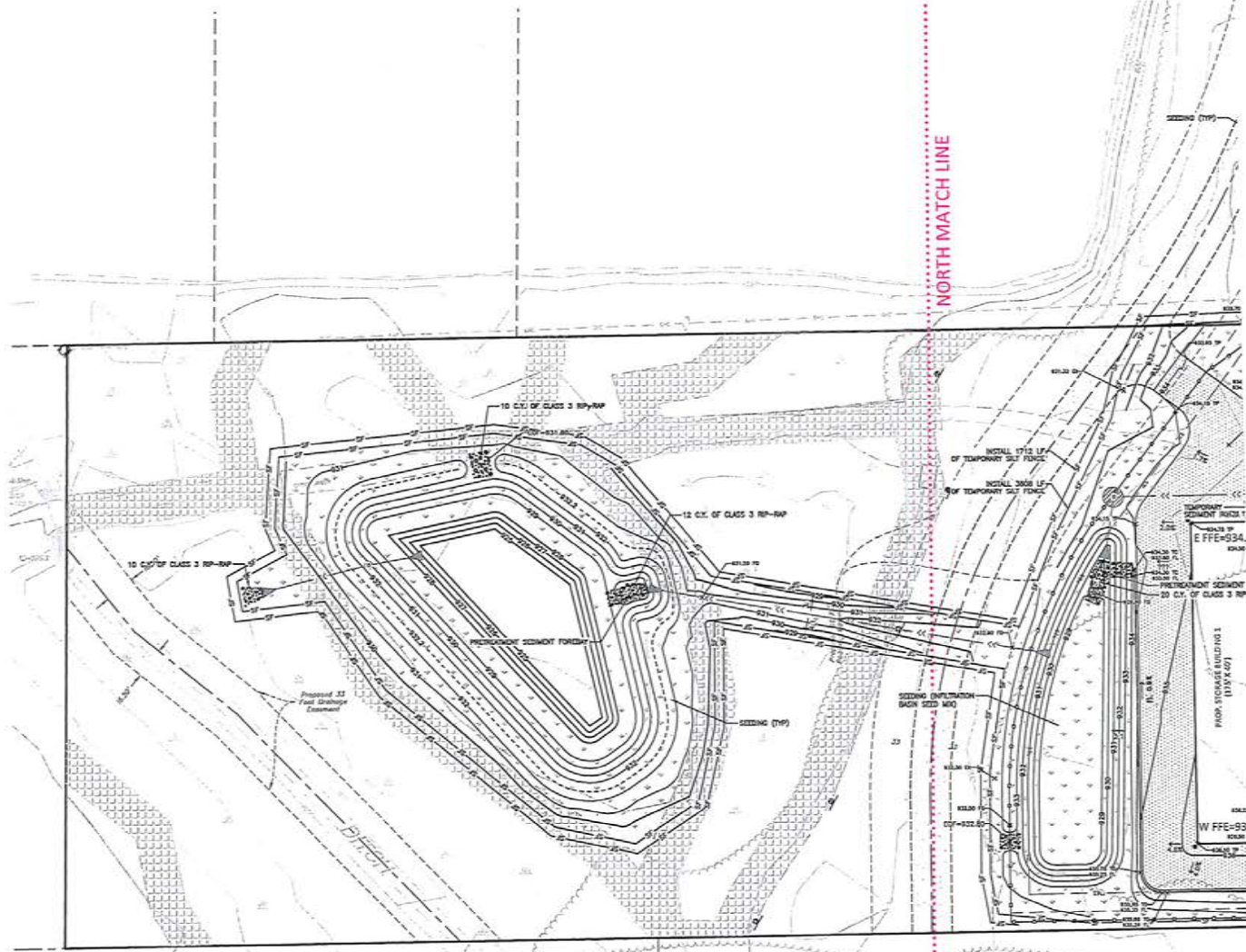
SCALE: 1" = 30'

LEGEND:

- TEMPORARY ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET (PER DETAIL)
- GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
- FIBER-LOG ROLLS
- PROPOSED RIP RAP
- NEW TOP-BACK OF CURB ELEVATION
- NEW FLOW LINE OF CURB ELEVATION
- NEW SIDEWALK ELEVATION
- NEW TOP OF PAVEMENT ELEVATION
- NEW TOP OF GRAVEL ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- HIGH POINT
- PROPOSED CONTOUR
- PROPOSED SLOPE
- EMERGENCY OVERFLOW
- TEMPORARY SEDIMENT FILTER- HIGH FLOW

GRADING GENERAL NOTES:

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 FERTILIZER 22-5-10: 350 LB/AC.  
 MULCH TYPE 3: 2 TONS/AC.  
 INFILTRATION BASIN SEED MIX 33-251: 35 LB/AC.
8. ALL DISTURBED AREAS IN WETLAND BUFFERS SHALL BE REVEGETATED WITH MIN/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:  
 WETLAND BUFFER SEED MIX 34-251: 31.5 LB/AC.



REV. NO.	DATE	DESCRIPTION
1	01/24/2021	ISSUED FOR BIDDING
2	02/24/2021	CHANGES TO CITY REVIEW
3	03/05/2021	FINAL CONTRACTORY PLANS

DATE: 01/24/2021  
 DESIGN BY: MJK  
 DRAWN BY: MJK  
 CHECKED BY: GSR  
 CIVIL FILE: 20-041100  
 FILE NO.: 20-041100

I hereby certify that the plan, specification or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signed: Christopher J. Bohm  
 Date: 03/19/2021 Lic. No. 56298

**BOGART, PEDERSON & ASSOCIATES, INC.**

LAND SURVEYING  
ENGINEERING SERVICES

1400 BROADWAY  
ROSELAND, NC 28668-4444


















Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

NORTH GRADING PLAN

SHEET NO.

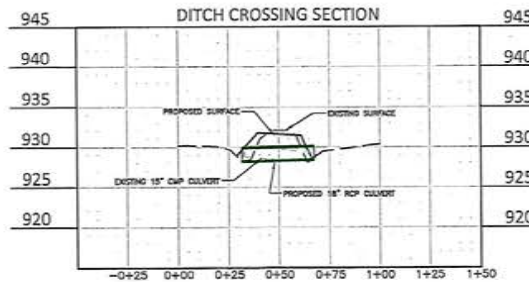
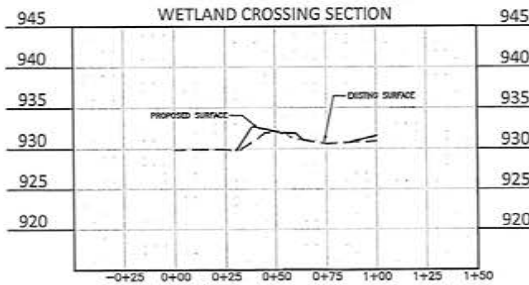
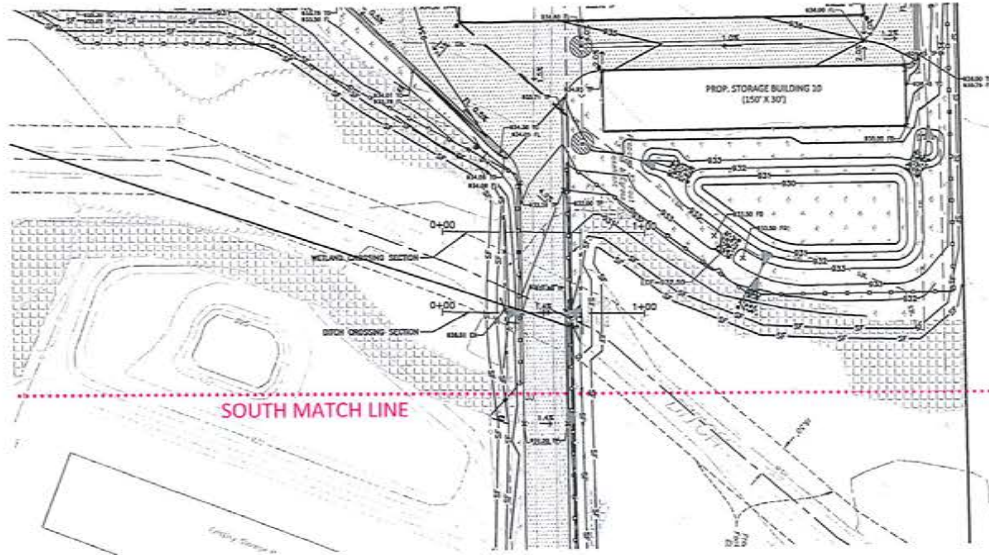
C5.2

**LEGEND:**

-  TEMPORARY ROCK CONSTRUCTION ENTRANCE
-  EROSION CONTROL BLANKET (PER DETAIL)
-  GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
-  FIBER-LOG ROLLS
-  PROPOSED RIP RAP
-  NEW TOP-BACK OF CURB ELEVATION
-  NEW FLOW LINE OF CURB ELEVATION
-  NEW SIDEWALK ELEVATION
-  NEW TOP OF PAVEMENT ELEVATION
-  NEW TOP OF GRAVEL ELEVATION
-  NEW FINISHED GRADE ELEVATION
-  EXISTING ELEVATION
-  HIGH POINT
-  PROPOSED CONTOUR
-  PROPOSED SLOPE
-  EMERGENCY OVERTFLOW
-  TEMPORARY SEDIMENT FILTER- HIGH FLOW

**GRADING GENERAL NOTES:**

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6. PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE SHOWN OR NOTED.



REV. NO.	DATE	DESCRIPTION
1	01/24/2021	DESIGN REVIEW
2	02/27/2021	REVISIONS FOR CITY REVIEW
3	03/12/2021	FINAL CONSTRUCTION PLANS

DATE: 01/24/2021  
 DESIGN BY: JLN  
 CHECKED BY: JLN  
 CNO FILE: 68000  
 FILE NO.: 20-001100

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signed: Christopher J. Dahn  
 Date: 02/19/2021 Lic. No. 84748

**BOGART, PEDERSON & ASSOCIATES, INC.**

1000 BROADWAY  
 SUITE 1000  
 MINNEAPOLIS, MN 55402  
 TEL: 612.338.8888 FAX: 612.338.8888

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Northton, Anoka County, MN  
 DITCH CROSSING GRADING PLAN

SHEET NO. **C5.3**

**LANDSCAPE REQUIREMENTS:**

- 1) ONE (1) OVERSTORY DECIDUOUS SHADE TREE OR ONE (1) CONIFEROUS TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF TOTAL BUILDING FLOOR AREA.
- 2) ONE (1) UNDERSTORY SHRUB FOR EVERY 300 SQUARE FEET OF TOTAL BUILDING FLOOR AREA.

71,500 S.F. OF BUILDING AREA: 36 TREES

71,500 S.F. OF BUILDING AREA: 239 SHRUBS

PER CITY OF NOWTHEN ZONING ORDINANCE:  
ALL LANDSCAPING INCORPORATED IN SAID PLAN SHALL CONFORM TO THE FOLLOWING STANDARDS AND CRITERIA:

- A. ALL PLANTS MUST AT LEAST EQUAL THE FOLLOWING MINIMUM SIZE:

	POTTED/BARE ROOT OR BALLED & BURLAPPED
SHADE TREES	2 1/2-INCH DIAMETER
ORNAMENTAL TREES	1-1/2 INCH DIAMETER
EVERGREEN	6 FEET HIGH
LOW SHRUBS - DECIDUOUS	24 INCHES

(SEE CITY ORDINANCE FOR FULL REQUIREMENTS)

SEE PHASING LINE FOR PHASE LANDSCAPING WILL BE INSTALLED.

**LEGEND:**

- 🌳 PROPOSED DECIDUOUS TREE
- 🌲 PROPOSED CONIFEROUS TREE
- 🌿 PROPOSED SHRUB



QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>TREES</b>					
11	RM	RED MAPLE	ACER RUBRUM	2 1/2" DIAMETER	STRAIGHT TRUNK, NO V-CROTCH
8	HL	COMMON HONEY LOCUST	GLEDITSIA TRIACANTHOS	2 1/2" DIAMETER	STRAIGHT TRUNK, NO V-CROTCH
17	NS	NORWAY SPRUCE	PICEA GLAUCA	6" HIGH	STRAIGHT TRUNK, NO V-CROTCH
36		TOTAL			
<b>SHRUBS</b>					
130	CI	COMMON JUNIPER	JUNIPERUS COMMUNIS	24"	
43	FB	BUNCHBERRY	CORNUS CANADENSIS	24"	
66	CY	CANADA YEW	TAXUS CANADENSIS	24"	
239		TOTAL			



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer with the State of Minnesota.

Signed: Christopher J. Dahn  
Date: 07/09/2021 Lic. No. 94918

REV. NO.	DATE	DESCRIPTION
1	07/07/2021	CHANGES REQUESTED BY CITY REVIEW
2	07/21/2021	
3	07/27/2021	FINAL CONSTRUCTION PLANS

DATE: 01/04/2021	SCALE: 1" = 60'
DESIGNER: MIA	CHECKED: CFO
PROJECT NO.: 20-0415-00	

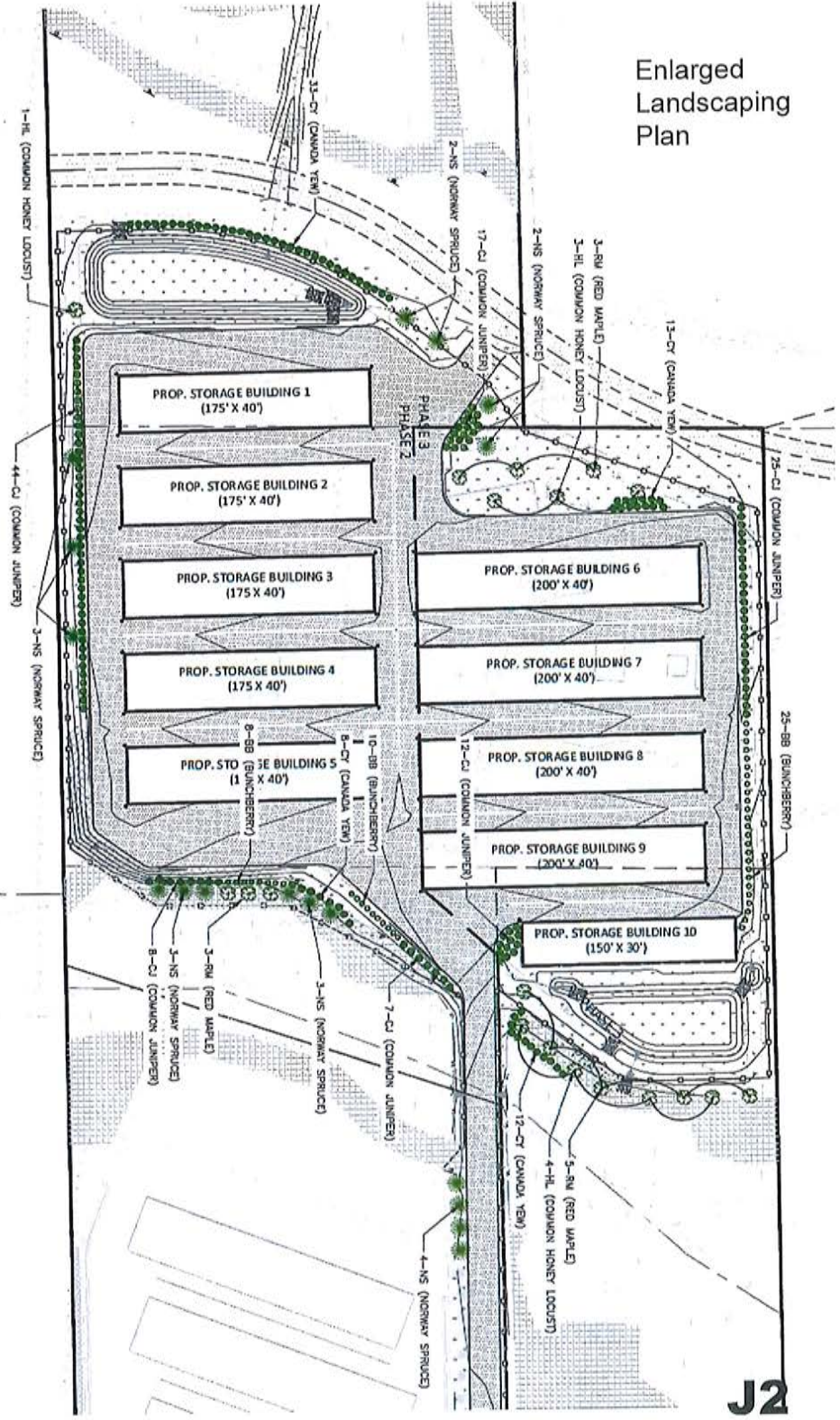
**Proposed Name Brand Self Storage Facility**  
8359 Viking Blvd.  
City of Nowthen, Anoka County, MN

**BOGART, PEDERSON & ASSOCIATES, INC.**  
LANDSCAPING SERVICES  
3403 BANKERS BUILDING  
MINNEAPOLIS, MN 55412

LANDSCAPING PLAN

SHEET NO. C8.0 J1

# Enlarged Landscaping Plan



J2



### SEEDING & MAINTENANCE (PER MNDOT)

ALL EXPOSED AREAS SHALL BE COVERED WITH ANFOOT SEED MIX, MULCHING, FERTILIZED & EROSION CONTROL. SEE THE FOLLOWING SCHEDULES.  
 SEED MIX: 20% BROWN SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281, 20% STANDARD SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281.

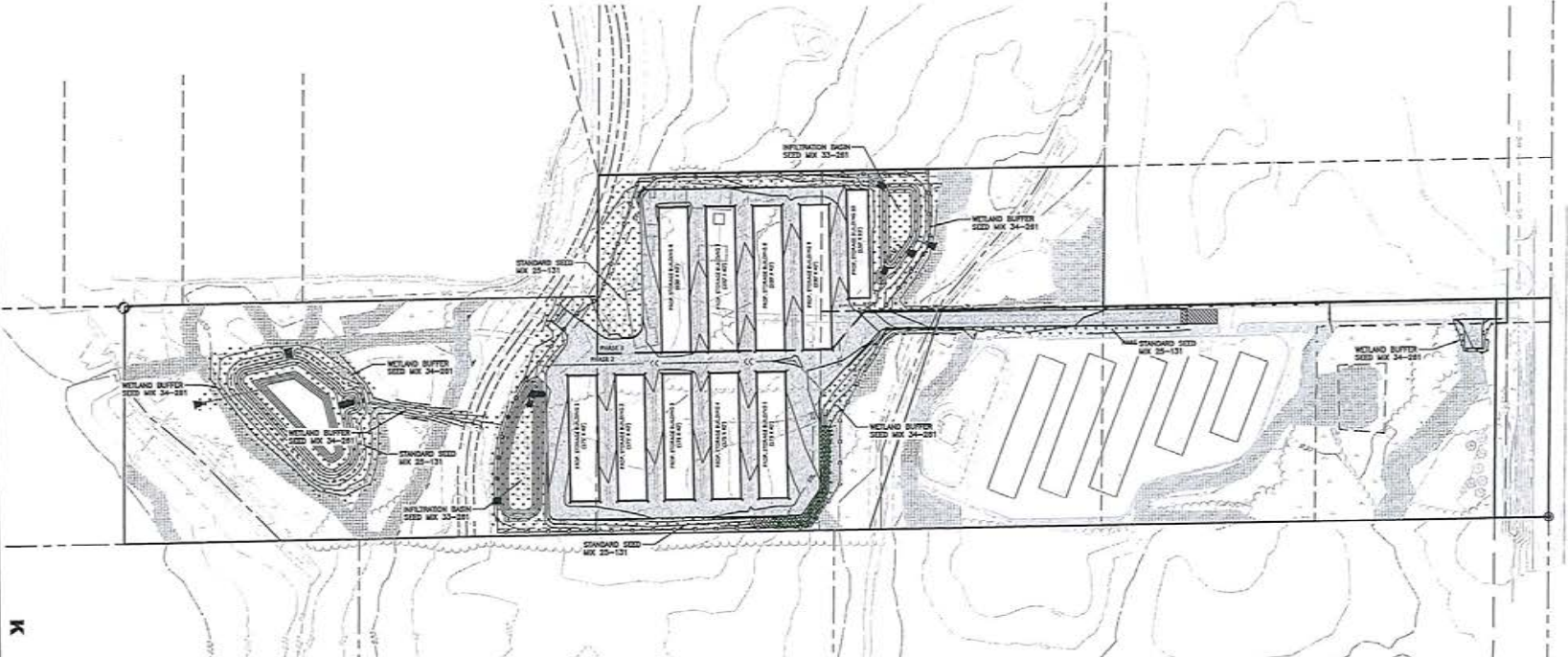
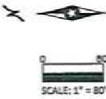
- 1) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 2) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 3) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 4) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 5) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 6) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 7) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 8) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 9) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 10) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 11) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
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- 15) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
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- 21) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 22) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 23) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 24) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 25) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 26) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 27) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 28) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 29) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 30) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 31) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 32) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 33) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 34) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 35) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 36) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 37) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 38) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 39) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.
- 40) PREPARE MIXTURE OF SEEDING MIX AS SPECIFIED.

ALL AREAS EXPOSED TO EROSION MUST BE PROTECTED DURING CONSTRUCTION WITH EROSION CONTROL. SEE THE FOLLOWING SCHEDULES.  
 EROSION CONTROL: 20% BROWN SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281, 20% STANDARD SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281.  
 MAINTENANCE: 20% BROWN SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281, 20% STANDARD SEED MIX 25-131, 80% MOW SEED MIX 34-281, 20% WETLAND SEED MIX 34-281.

### LEGEND:

- EROSION CONTROL BLANKET (PER DETAIL)
- SEEDING (AS INDICATED)
- PROPOSED CONTOUR



<b>Proposed Name Brand Self Storage Facility</b> 8359 Wiking Blvd. City of Nowthen, Anoka County, MN	 <b>BOGART, PEDERSON &amp; ASSOCIATES, INC.</b> ARCHITECTURAL SERVICES 10100 N. WATKINS AVE., SUITE 200 MINNETONKA, MN 55345	DATE: 07/02/2021	REV: 01/04/2021	DESCRIPTION:	
		CHECKED BY: [Signature]	DATE: 07/02/2021	DATE: 07/02/2021	
		SCALE: 1" = 80'	FILE NO.: 20-0415-05	PROJECT NO.: 20-0415-05	REVISIONS:
		REVISIONS:			



**LEGEND:**

- PROPOSED WETLAND LIMITS (IF ALTERED)
- [Blue Hatched Box] STANDARD 20' WETLAND BUFFER AREA
- [Green Hatched Box] PROPOSED WETLAND BUFFER AREA (USING BUFFER AVERAGING)
- [Red Hatched Box] PROPOSED WETLAND IMPACT



**WETLAND BUFFER AREAS:**

STANDARD 20' WETLAND BUFFER AREA: 88,238 SQ.FT. (2.06 AC)  
 PROPOSED WETLAND BUFFER AREA: 91,231 SQ.FT. (2.09 AC)  
 WETLAND BUFFER AREA ADDED: 2,993 SQ.FT. (0.03 AC)

- ALL WETLAND BUFFER AREAS THAT GET DISTURBED MUST BE RE-ESTABLISHED WITH NATIVE VEGETATION (SEED MIX 34--281)
- ALL WETLAND BUFFER AREAS WILL HAVE SIGNAGE WITH MAXIMUM SPACING OF 200 FEET.

**WETLAND IMPACT AREAS:**

PERMANENT WETLAND IMPACT AREA: 4,074 SQ.FT. (0.09 AC)

REV	DATE	DESCRIPTION
1	01/17/2021	GRADING BEARS TO CITY
2	02/02/2021	GRADING BEARS PER CITY REVIEW
3	03/03/2021	FINAL CONTRACT PLAN

DATE:	01/17/2021
DESIGN BY:	MM
DRAWN BY:	MM
CHECKED BY:	GB
DWG FILE:	SITE.MXD
FILE NO.:	20-041100

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signed:  Christopher C. Goun  
 Date: 01/17/2021 Lic. No. 16468

**BOGART, PEDERSON & ASSOCIATES, INC.**  
 LAND SURVEYING  
 ENVIRONMENTAL SERVICES  
 1000 W. WASHINGTON AV. SUITE 200  
 MINNEAPOLIS, MN 55408

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

WETLAND IMPACT AND BUFFERS

SHEET NO. C10.0

**LEGEND:**

-  PROPOSED WETLAND LIMITS (F' ALTERED)
-  STANDARD 20' WETLAND BUFFER AREA
-  PROPOSED WETLAND BUFFER AREA (USING BUFFER AVERAGING)
-  PROPOSED WETLAND IMPACT

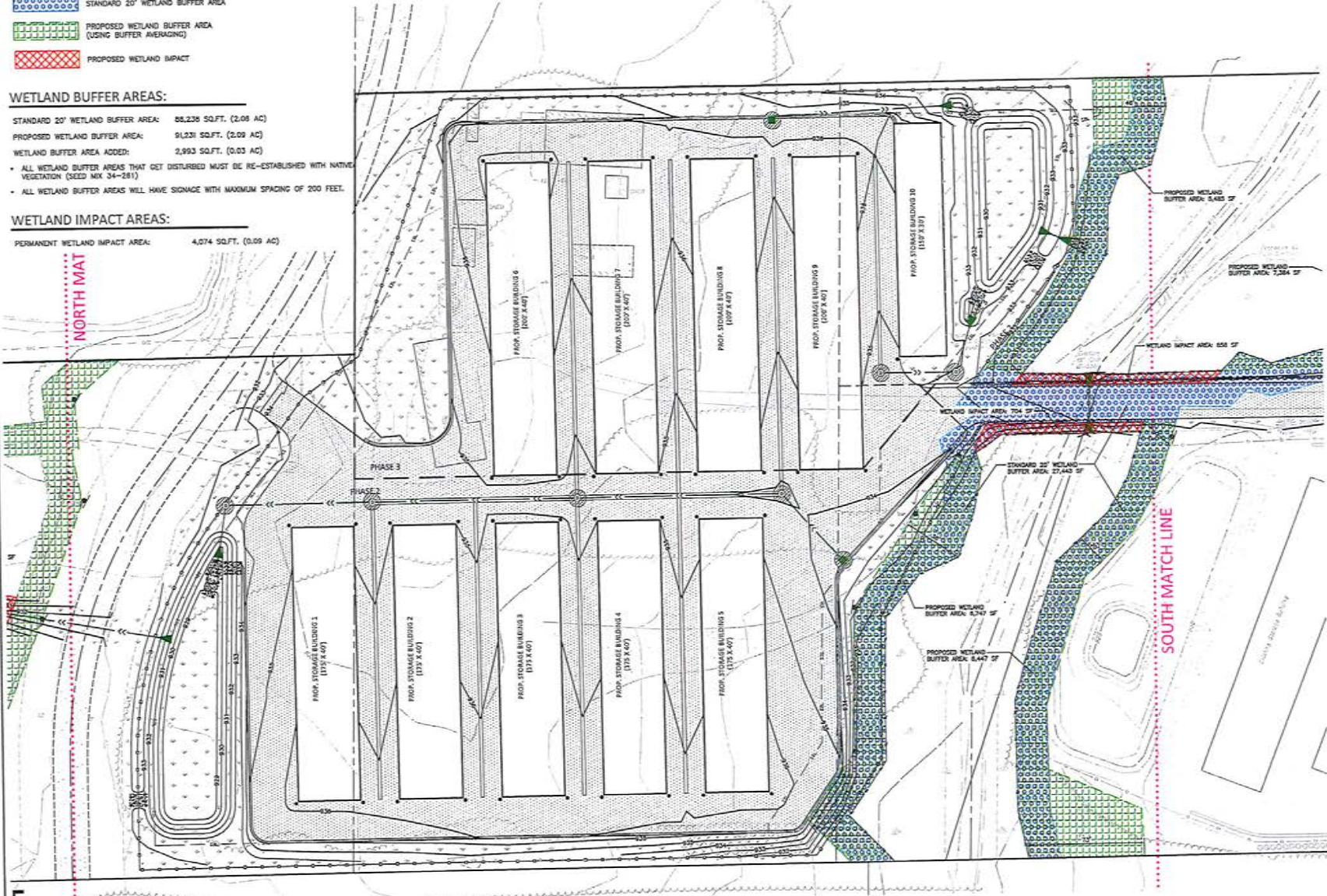
**WETLAND BUFFER AREAS:**

STANDARD 20' WETLAND BUFFER AREA: 85,236 SQ.FT. (2.08 AC)  
 PROPOSED WETLAND BUFFER AREA: 91,231 SQ.FT. (2.09 AC)  
 WETLAND BUFFER AREA ADDED: 2,993 SQ.FT. (0.03 AC)

- ALL WETLAND BUFFER AREAS THAT GET DISTURBED MUST BE RE-ESTABLISHED WITH NATIVE VEGETATION (SEED MIX 34-281)
- ALL WETLAND BUFFER AREAS WILL HAVE SIGNAGE WITH MAXIMUM SPACING OF 200 FEET.

**WETLAND IMPACT AREAS:**

PERMANENT WETLAND IMPACT AREA: 4,074 SQ.FT. (0.09 AC)



REV. NO.	DATE	DESCRIPTION
1	02/07/2023	DRAWINGS SUBMITTED TO CITY
2	02/27/2023	DRAWINGS REVISED FOR CITY REVIEW
3	03/05/2023	FINAL CONFIRMATORY PLANS

DATE: 07/24/2023  
 DESIGN BY: JMB  
 CHECKED BY: JMB  
 DATE FILED: SEE DATE  
 FILE NO.: 23-24143.00

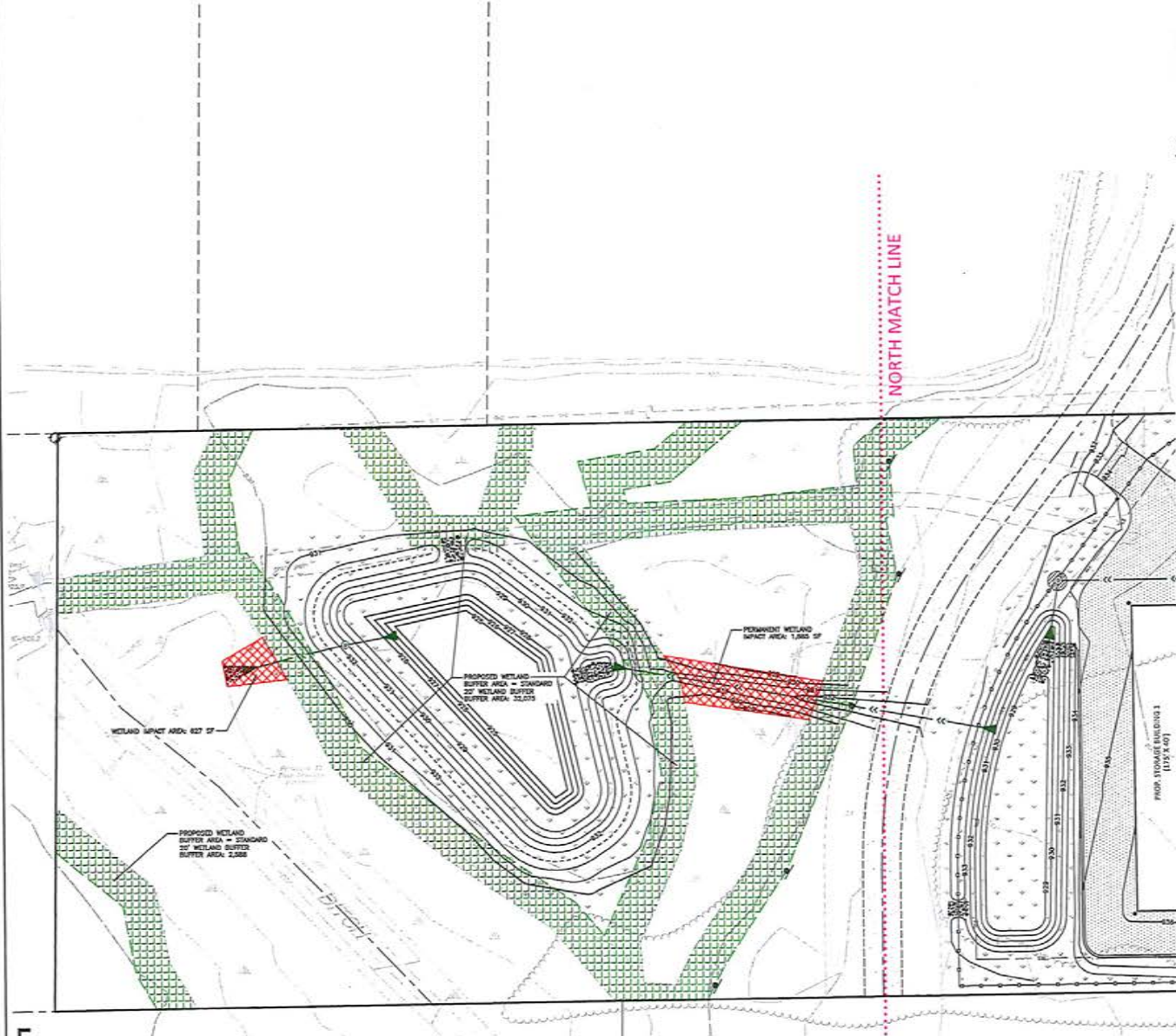
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Signature: Christopher L. Bohm  
 Date: 07/23/2023 Lic. No. 96819


**BOGART, PEDERSON & ASSOCIATES, INC.**  
 LAND SURVEYORS  
 ENGINEERS  
 1115 HENRI AVENUE  
 MINNEAPOLIS, MN 55402  
 TEL: 612.338.4329 FAX: 612.338.4444

Proposed Name Brand Self Storage Facility  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN  
 WETLAND IMPACT AND BUFFERS

3/1/2011 4:57 PM C:\Projects\Name Brand Self Storage Phase 1 & 2\DWG\1001.dwg

L3



**LEGEND:**

- PROPOSED WETLAND LIMITS (IF ALTERED)
- STANDARD 20' WETLAND BUFFER AREA
- PROPOSED WETLAND BUFFER AREA (USING BUFFER AVERAGING)
- PROPOSED WETLAND IMPACT



**WETLAND BUFFER AREAS:**

STANDARD 20' WETLAND BUFFER AREA: 88,238 SQ.FT. (2.06 AC)  
 PROPOSED WETLAND BUFFER AREA: 91,231 SQ.FT. (2.09 AC)  
 WETLAND BUFFER AREA ADDED: 2,993 SQ.FT. (0.03 AC)

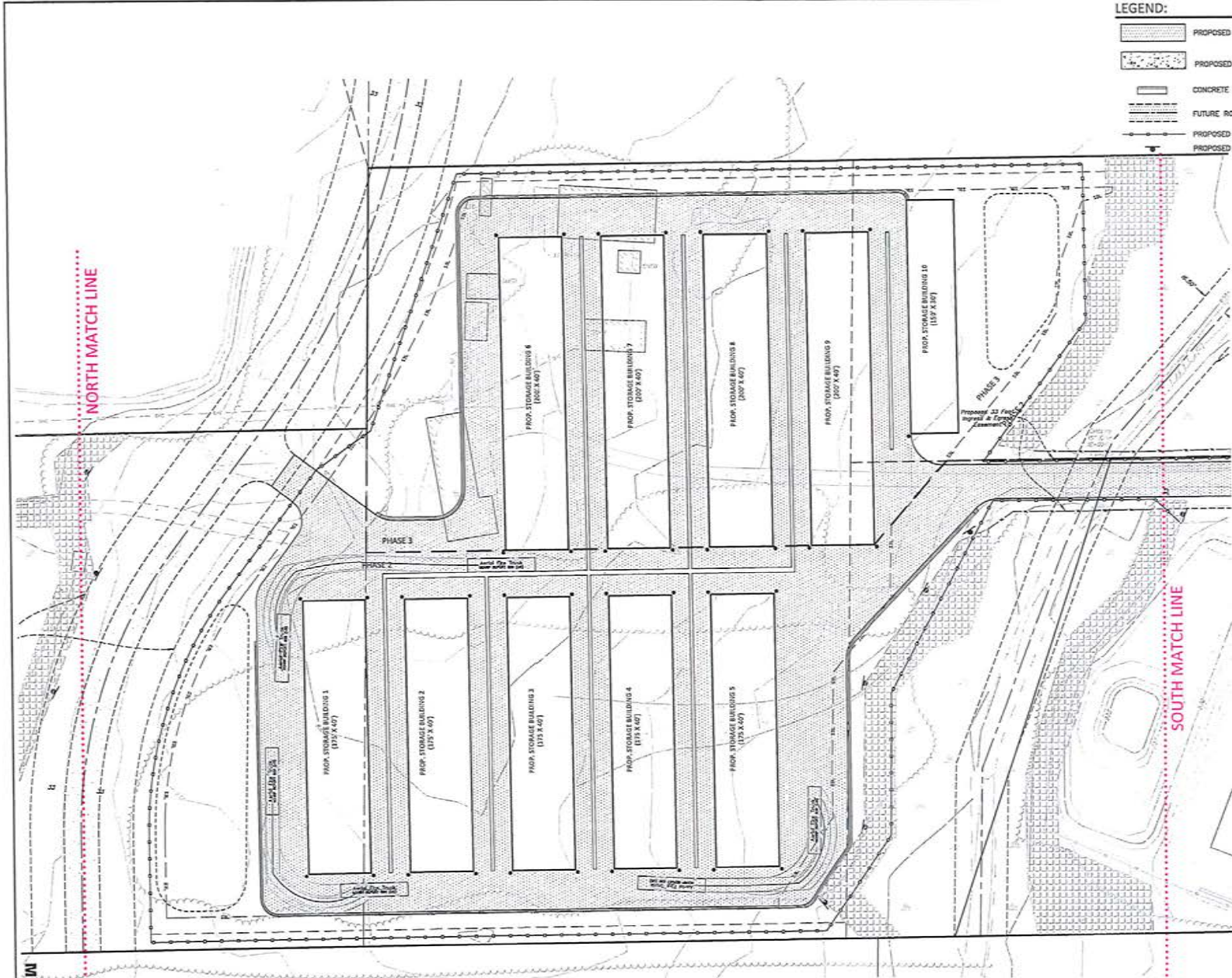
- ALL WETLAND BUFFER AREAS THAT GET DISTURBED MUST BE RE-ESTABLISHED WITH NATIVE VEGETATION (SEED MIX 34-261)
- ALL WETLAND BUFFER AREAS WILL HAVE SIGNAGE WITH MAXIMUM SPACING OF 200 FEET.

**WETLAND IMPACT AREAS:**

PERMANENT WETLAND IMPACT AREA: 4,074 SQ.FT. (0.09 AC)

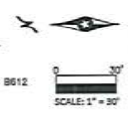
<p>Proposed Name Brand Self Storage Facility                  8359 Viking Blvd.                  City of Nowthen, Anoka County, MN</p>		<p>WETLAND IMPACT AND BUFFERS</p>	
<p>SHEET NO. <b>C10.2</b></p>			
<p><b>BOGART, PEDERSON &amp; ASSOCIATES, INC.</b>                  LAND SURVEYORS                  ENVIRONMENTAL SERVICES</p>			
<p>Proposed Name Brand Self Storage Facility                  8359 Viking Blvd.                  City of Nowthen, Anoka County, MN</p>		<p>WETLAND IMPACT AND BUFFERS</p>	
<p>DATE: 01/04/2011</p>		<p>DATE: 01/04/2011</p>	
<p>DESIGN BY: MM</p>		<p>DATE: 01/04/2011</p>	
<p>CHECKED BY: MM</p>		<p>DATE: 01/04/2011</p>	
<p>DWG FILE: JNL</p>		<p>DATE: 01/04/2011</p>	
<p>FILE NO.: 20-0115103</p>		<p>DATE: 01/04/2011</p>	
<p>hardy certify and the plan, specification or report was prepared by him or under his direct supervision and he is a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p>			
<p>Signed: Christopher J. Doherty                  Date: 07/17/2012 Lic. No. 56928</p>			

8/1/2021 4:38 PM I:\Projects\Drawings\110101 New Brand Storage Phase 1 & 2\110101.mxd Bover



**LEGEND:**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER - B612
- FUTURE ROAD
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER SIGN



REV. NO.	DATE	DESCRIPTION
1	01/24/2021	EXAMINER REVIEW TO CITY
2	01/27/2021	EXAMINER REVIEW FOR CITY REVIEW
3	03/22/2021	FINAL CONSTRUCTION PLANS

DATE: 01/24/2021  
 DRAWN BY: JLB  
 CHECKED BY: JLB  
 FILE NO.: 30-041559

Signature: *[Signature]*  
 Date: 01/27/2021 Lin. No. 51024

**Proposed Name Brand Self Storage Facility**  
 8359 Viking Blvd.  
 City of Nowthen, Anoka County, MN

**BOGART, PEDERSON & ASSOCIATES, INC.**  
  
 4220 BOGARTS LANE  
 ENVIRONMENTAL SERVICES  
 16100 BIRCH LAKE RD #210  
 ANDOVER, MN 55002

**VEHICLE TURNING MOVEMENT**

SHEET NO. C11.0



**ENGINEERING REVIEW**  
by  
**Hakanson Anderson**

---

**Submitted to:** Josh Peterson, Name Brand Storage

**cc:** Elizabeth Stockman, City Planner  
Lori Streich, City Clerk  
Bob Ruppe, City Attorney  
Craig Wensmann, Bogart Pederson & Associates, Inc.  
Chris Dahn, Bogart Pederson & Associates, Inc.

**Reviewed by:** Shane Nelson, City Engineer  
Andrew Vistad, HAI

**Date:** March 8, 2021

**Proposed Project:** Name Brand Self Storage Phases 2 & 3

**Street Location:** 8335 Viking Boulevard

**Applicant:** Name Brand Self Storage, LLC

**Owners of Record:** Name Brand Self Storage, LLC

**Jurisdictional Agencies:** City of Nowthen, MPCA, Anoka County (but not limited to)

**Permits Required:** City Approval, NPDES Construction Permit (but not limited to)

## **INFORMATION AVAILABLE**

Stormwater Management Report, 2/22/21, prepared by Bogart, Pederson & Associates, Inc.

Phase 2 & 3 Preliminary Plans, 2/23/21, prepared by Bogart, Pederson & Associates, Inc.

Wetland Delineation Report, 10/12/18, prepared by Bogart, Pederson & Associates, Inc.

## **UTILITY PLAN, GRADING, DRAINAGE AND EROSION CONTROL**

1. Please add curb and gutter along the pavement edge to the north of Building 1 such that pre-treatment can be provided prior to stormwater entering the infiltration basin.
2. Please label the pre-treatment sediment forebay's on the plan. Please consider providing sump manholes in the last manhole of each run to further provide pre-treatment sediment removal prior to stormwater entering the infiltration basins.
3. The 24" RCP from Infiltration Basin 1D to Detention Basin 2D does not have cover. The ground elevation in the wetland is 929, and the top of the pipe is 931.6. Please revise.

## **STORMWATER CALCULATIONS**

1. The weighted curve number for Subcatchment 1S in the existing condition is 83. In the proposed condition, it is 79. Please justify the decrease in curve number in the proposed condition or adjust.
2. The weighted curve number for Subcatchment 5S in the existing condition is 85. In the proposed condition, it is 82. Please justify the decrease in curve number in the proposed condition or adjust.
3. The stormwater system, once constructed, will be a private system and the owner shall enter into a maintenance agreement with the City to ensure the long term operation and maintenance.

## **WETLAND MANAGEMENT**

1. The proposed plans depict wetland impacts, which have not been permitted at this time. Submit applicable permit applications.

## **OTHER ITEMS**

1. Provide complete Geotechnical Report.
2. Lot combination requirements, frontage, setbacks, impervious coverage, landscaping plan, etc. to be reviewed by the City Planner as a part of the zoning review.
3. It is recommended that drainage and utility easements are provided over the ditches, minimum 40' in width, to allow for future maintenance activities. Provide easement document for review prior to recording.
4. Provide easement document for the proposed (future) road for review prior to recording.

## **SUMMARY AND/OR RECOMMENDATION**

Please revise and resubmit for review and approval.





**Bogart, Pederson  
& Associates, Inc.**

CIVIL ENGINEERING  
LAND SURVEYING  
ENVIRONMENTAL SERVICES

*Traditional Values • Creative Solutions*

March 15<sup>th</sup>, 2021

Shane Nelson, City Engineer

**RE: Response to March 8, 2021 Review of the Name Brand Self Storage Phases 2 & 3 by Hakanson Anderson**

Dear Mr. Nelson:

We offer the following response to comments and recommendations that have been made in the review letter.

**Utility Plan, Grading, Drainage and Erosion Control**

1. Please add curb and gutter along the pavement edge to the north of Building 1 such that pre-treatment can be provided prior to stormwater entering the infiltration basin.

**BPA Response: Curb has now been added to the portion north of Building 1. This will outflow into the forebay.**

2. Please label the pre-treatment sediment forebay's on the plan. Please consider providing sump manholes in the last manhole of each run to further provide pretreatment sediment removal prior to stormwater entering the infiltration basins.

**BPA Response: Forebays are now labeled. 2' sumps are now provided on CB 105, 112, and 115.**

3. The 24" RCP from infiltration Basin 1D to Detention Basin 2D does not have cover. The ground elevation in the wetland is 929, and the top of the pipe is 931.6. Please revise.

**BPA Response: There is now proposed grading shown over the pipe to get cover. The wetland impact is now considered permanent. This slightly affected the hydrology by splitting the wetland. Lower rates are maintained. Proposed Pond 4.OP has an increased bounce of 0.6 feet compared to the existing conditions. This is acceptable for a slightly susceptible wetland (Max of 1 foot) per the MPCA. 2' Sumps are also now included on the catch basins flowing into the infiltration basins.**

**Stormwater Calculations:**

1. The weighted curve number for Subcatchment 1S in the existing condition is 83. In the proposed condition, it is 79. Please justify the decrease in curve number in the proposed condition or adjust.

**BPA Response: Typo in the proposed wetland CN has been revised from 89 to 98. Both existing and proposed condition CN's are 83 now.**

2. The weighted curve number for Subcatchment 5S in the existing condition is 85. In the proposed condition, it is 82. Please justify the decrease in curve number in the proposed condition or adjust.

**BPA Response: Typo in the proposed wetland CN has been revised. The proposed CN is now 86.**

3. The stormwater system, once constructed, will be a private system and the owner shall enter into a maintenance agreement with the city to ensure the long term operation and maintenance.

**BPA Response: Comment noted owner will sign agreement.**

#### **Wetland Management:**

1. The proposed plans depict wetland impacts, which have not been permitted at the time. Submit applicable permit applications.

**BPA Response: Wetland impact permits will be applied for once BPA Plans are suitable to City Engineer. BPA assumes that getting this approved by the TEP and LGU can be a condition of approval. BPA will apply for wetland impacts once directed that plans are suitable to City Engineer.**

#### **Other Items:**

1. Provide complete Geotechnical Report.

**BPA Response: Full geotechnical report is now provided at the end of the storm water report.**

2. Lot combination requirements, frontage, setbacks, impervious coverage, landscaping plan, etc. to be reviewed by the City Planner as a part of the zoning review.

**BPA Response: Comment noted.**

3. It is recommended that drainage and utility easements are provided over the ditches, minimum 40' in width, to allow for future maintenance activities. Provide easement document for review prior to recording.

**BPA Response: The easement has been added to the COS. If additional easement documents are needed, BPA will provide document.**

4. Provide easement document for the proposed (future) road for review prior to recording.

**BPA Response: The document is attached.**

If you have any questions I can be reached at (763) 262-8822. Thank you.

Sincerely,

**Bogart, Pederson & Associates, Inc.**



Christopher J. Dahn, PE

**CITY OF NOWTHEN  
ANOKA COUNTY, MINNESOTA**

**PLANNING & ZONING COMMISSION**

**FINDINGS & RECOMMENDATION  
LOT SPLIT  
CONDITIONAL USE PERMIT  
VARIANCE**

**APPLICANT:** Josh Peterson 8335/8359 Viking Boulevard  
(PIDs# 20-33-25-43-0012, 20-33-25-43-0013)

**APPLICATION:** Request for approval of lot split/reconfiguration, Variance for house setback and Conditional Use Permit to allow multiple buildings on a single parcel to allow Phases Two and Three of the Name Brand Storage Facility to be developed on existing industrial land.

**PLANNING & ZONING COMMISSION MEETING:** March 23, 2021

**FINDINGS:** Based upon review of the application and evidence received, the Planning and Zoning Commission of the City of Nowthen now makes the following findings of fact:

1. The legal description of the subject property is:
  - a. THAT PRT OF W 330 FT OF NW1/4 OF SE1/4 OF SEC 20 TWP 33 RGE 25, AS MEAS ALG N LINE THEREOF, LYG S OF N 660 FT THEREOF AS MEAS ALG W LINE THEREOF, TOG/W N 307.85 FT OF W 497.67 FT OF SW1/4 OF SE1/4 OF SD SEC, AS MEAS ALG W & N LINES THEREOF & ALSO TOG/W THAT PRT OF E 194.10 FT OF W 497.70 FT OF SD SW1/4 OF SE1/4, AS MEAS ALG S LINE THEREOF, LYG S OF N 307.85 FT OF SD SW1/4 OF SE1/4, AS MEAS ALG W LINE THEREOF, & LYG N OF S 616 FT OF SD SW1/4 OF SE1/4, AS MEAS ALG W LINE THEREOF & ALSO TOG/W THAT PRT OF W 303.60 FT OF SD SW1/4 OF SE1/4, AS MEAS ALG S LINE THEREOF, LYG SLY OF S LINE OF N 307.85 FT, AS MEAS ALG W LINE THEREOF & LYG NLY OF FOL DESC LINE: COM AT SW COR OF SD SW1/4 OF SE1/4, TH NLY ALG W LINE THEREOF, 935.30 FT TO POB OF LINE TO BE DESC, TH SELY DEFLECTING TO THE RIGHT 109 DEG 09 MIN 15 SEC 321.23 FT TO INTERSECT E LINE OF SD W 303.60 FT & THERE TERM, EX RD, SUBJ
  - b. THAT PRT OF W 303.60 FT OF SW1/4 OF SE1/4 OF SEC 20 TWP 33 RGE 25, AS MEAS ALG S LINE THEREOF, LYG NLY OF S 75 FT THEREOF & LYG SLY OF FOL DESC LINE: COM AT SW COR OF SD ¼ 1/4, TH NLY ALG W LINE THEREOF, 935.30 FT TO POB OF LINE TO BE DESC, TH SELY DEFLECTING TO THE RIGHT 109 DEG 09 MIN 15 SEC 321.23 FT TO INTERSECT E LINE OF SD W 303.60 FT & THERE TERM, EX RD, SUBJ TO EASE OF REC
2. The subject site is guided by the Comprehensive Plan commercial/light industrial land uses through the year 2040. The proposed lot configuration is compatible with the surrounding area commercial and industrial development.
3. The subject site is zoned I-1 and both proposed lots meet the minimum lot size and structure setback requirements;
4. The subject property will result in two new lots reconfigured from two existing lots;
5. Parcel A encompasses 13.15 acres (Phases 1 and 2) and Parcel B (future Phase 3) encompasses 3.52 acres;

6. The City has determined that practical difficulties exist on the property and that the requested Variance is a result of the transition of the property from residential agriculture to industrial and is only temporary until such time as Phase 3 commences. Altering the overall site layout to accommodate an existing house is not in the best interests of the property owner or the City. The applicant for variance has demonstrated that the request satisfies the following criteria of Section 11-11-2:
  - a. That the variance would be consistent with the Comprehensive Plan.
  - b. That the variance would be in harmony with the general purposes and intent of the Zoning Ordinance.
  - c. That the plight of the landowner is due to circumstances unique to the property not created by the landowner.
  - d. That the purpose of the variance is not exclusively an economic consideration.
  - e. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.
  - f. That the requested variance is the minimum action required to eliminate the practical difficulty.
  
7. Section 11-10-3.B of the Nowthen Zoning Ordinance states that in permitting a new conditional use or interim use permit or alteration of an existing conditional use or interim use permit, the Planning Commission and/or City Council may impose, in addition to these standards and requirements specified by this Chapter, additional conditions which they consider necessary to protect the best interest of the surrounding area or the City as a whole. These conditions may include, but are not limited to, the following:
  - a. Limiting the height, size, or location of buildings.
  - b. Controlling the location and number of vehicle access points.
  - c. Providing for a sufficient number of off-street parking spaces.
  - d. Limiting the number, size, location, or lighting of signs.
  - e. Requiring diking, fencing, screening, landscaping, or other facilities to protect adjacent or nearby property.
  
8. The proposed storage facility has five (5) separate buildings in Phase 2 and five (5) buildings in Phase 3 which will utilize the existing access onto Viking Boulevard;
  
9. Landscape requirements of Section 11-4-17.M intended to buffer the agricultural land to the west has been met through the existence of natural wetlands, woods and open space as well as the landscaping required as part of Phase 2;
  
10. The ten-foot parking and driveway setback is reduced to five (5) feet under terms specified in this CUP based on Section 11-6-2.G which allows a reduced setback for shared access to two or more properties. The reduction will also prevent further wetland impacts;
  
11. The Planning Report dated March 15, 2021, prepared by the City Planner, The Planning Company LLC., is incorporated herein;

12. The Engineering Report dated March 8, 2021, prepared by Hakanson Anderson, is incorporated herein;
13. The Nowthen Planning and Zoning Commission held a public hearing, preceded by a published and mailed notice, and considered the request at their regular meetings on January 26, 2021, February 23, 2021 and March 23, 2021.

**RECOMMENDATION:** Based on the foregoing information and applicable ordinances, the Planning and Zoning Commission of the City of Nowthen hereby **approves the Lot Split, Variance and Conditional Use Permit** for a storage facility on 13.15 acres (Phases 1 and 2) and Phase 3 on 3.52 acres, subject to the following conditions:

#### **Lot Split & Variance Conditions**

1. The Certificate of Survey and or Removal Plan are amended to show the accessory buildings to be removed to comply with the following limitations:
  - a. A maximum of 3,200 SF accessory building square footage
  - b. A maximum of two (2) accessory structures
2. A fourteen (14) foot Variance is approved to allow the existing house six (6) feet from the side lot line of Parcel B.
3. The house parcel shall be in compliance with outdoor storage requirements prior to issuance of Certificates of Occupancy being issued for the new buildings.
4. Park and trail dedication requirements shall be waived.
5. A deed is drafted for review and approval of the City Engineer which dedicates a permanent road easement to the City of Nowthen for the future extension of Iguana Street.
6. The applicant is responsible for recording the survey and permanent road easement at Anoka County following approval by the City; all property taxes must be paid in full for the year and a copy of proof of recording is submitted to the City.
7. All costs associated with the review of the lot split and any other costs generated by the City or its representatives are the responsibility of the applicants, including legal, administrative, and professional costs incurred through consideration of the lot split request.

#### **Conditional Use Permit Conditions**

8. All common areas including, but not limited to, buildings, open space, wetlands, greenways, drainage ponds, driveways, parking areas, sidewalks, etc., shall be owned by a single entity.

9. There shall be no outdoor storage anywhere on the property.
10. Architectural and structural plans are submitted for review and approval by the City Planner and Building Official. Building height is limited to 35 feet.
11. Architectural plans must demonstrate that building material requirements comply with the following:
  - a. The northerly-most buildings in Phases 2 and 3 which face the future extension of Iguana Street shall be 100% Nova Brick (less the overhead doors);
  - b. The east end of all five buildings in Phase 3 must be 100% Nova Brick;
  - c. \_\_\_\_\_?
  - d. The remainder of the structural exteriors may contain metal (no galvanized or unfinished steel/aluminum).
12. Exhibit L, large vehicle turning movements, is amended to demonstrate that turning radii can be achieved in the central and westerly portions of the site (to/from central north-south driveway and at the two 90 degree turns in Phase 3) or the buildings in Phase 3 are shortened from the proposed 200-foot length.
13. A revised screening and landscaping plan is submitted for review and approval of the City Zoning Administrator which addresses:
  - a. The site is more conducive to trees rather than shrubs given the size of the parcel and scale of the buildings. Section 11-4-17.M states that landscaping requirements be met to the "satisfaction of the City". Consideration be given to allowing a 3:1 conversion of shrubs to trees as was allowed in Phase 1.
  - b. Screening along the west property line
  - c. Screening of parking/drive lane areas along the east lot line.
  - d. The provision of larger trees and shrubs along the future extension of Iguana Street, in addition to or replacing the Yews shown along the northwest side.
  - e. The addition of plantings along Viking Blvd.
  - f. Landscape plantings shall be maintained to ensure proper health and longevity. Trees and shrubs may be replaced as necessary with equivalent species.
14. The fence shall be located outside of the wetland buffer.

15. The City Council may hold a public hearing to revoke a conditional use upon the happening of any of the following events, whichever occurs first:
- a. Upon violation of conditions under which the permit was issued;
  - b. The use or operation is discontinued for a period of one (1) year;
  - c. If no other time is specified in the Conditional Use Permit, a conditional use approved by the City Council must be exercised or put into effect within one (1) year of the date of approval, by fulfilling each and every condition attached thereto, or the City Council may hold a public hearing to revoke the conditional use unless a request is submitted to the City in writing no less than thirty (30) days prior to the deadline. The City Zoning Administration may approve an extension which shall not exceed ninety (90) days whereafter consideration by the City Council may require reapplication and subsequent approval of a conditional use.
16. All costs associated with the review of the submitted survey and plans and any other costs generated by the City or its representatives are the responsibility of the applicants, including legal, administrative, and professional costs incurred through consideration of the lot split request.

**MOTION BY:**

**SECOND BY:**

**ALL IN FAVOR:**

**THOSE OPPOSED:**

**ADOPTED by the Planning and Zoning Commission of the City of Nowthen this 23rd day of March 2021.**

**CITY OF NOWTHEN**

By: \_\_\_\_\_  
Mayor Jeffrey Pilon

Attest: \_\_\_\_\_  
Lori Streich, City Clerk

## MEMORANDUM

**TO:** Liz Stockman, City Planner  
**FROM:** Shane Nelson, City Engineer  
**DATE:** March 17, 2021  
**RE:** Toft Concept Plans

---

We have reviewed the Concept Plans for Megan and Chad Toft, prepared by Rehder & Associates, Inc and would offer the following comments:

1. Option A appears to depict a cul-de-sac which is located midway in the street. We assume that this is proposed as a turnaround for large vehicles prior to the zoning change from Industrial to RRA. However, we are not familiar with this street design and do not understand why it would be necessary.

From our perspective, each individual lot should be designed to accommodate delivery vehicles necessary to support their operations and any large vehicle traffic that is coming to or from the industrial lots should be expected to load and unload within each individual site, not on the City Street. Therefore, it would seem that all large vehicle traffic would either have a destination to or from the individual lots and thus the midway cul-de-sac would serve no purpose.

2. Option B appears to depict horizontal curves which would not be sufficient for the statutory 35 mph speed. All curves shall be designed to accommodate the 35 mph design speed, unless a natural feature or topography prohibits.
3. The location of the road connection to the property to the south appears to be in a good location and a roadway connection is supported by Staff.
4. The applicant is encouraged to work with MnDOT to determine the access location and the turn lanes that will be necessary on Highway 47 to access the site. It appears that there is hill on the property to the north that may hinder the site distance. The new street access must meet all MnDOT design and safety criteria (including Site Distance) as per the MnDOT Road Design Manual.
5. The applicant is encouraged to obtain a Wetland Delineation (and submit for review and approval) to determine the location of the wetlands.
6. Soil Borings are necessary to determine the buildability of each of the proposed sites.





3601 Thurston Avenue  
Anoka, MN 55303  
763.231.5840  
TPC@PlanningCo.com

## MEMORANDUM

TO: Nowthen Mayor and City Council  
Nowthen Planning & Zoning Commission

FROM: Elizabeth Stockman

DATE: March 17, 2021

RE: Nowthen – Chad and Megan Toft, CST Companies  
204xx St. Francis Boulevard  
(PID 24-33-25-12-0005, 24-33-25-11-0001)  
Conceptual Subdivision Review

TPC FILE: 122.02 – 21.05

## BACKGROUND

Chad and Megan Toft have submitted two conceptual development plans for +/-70 acres, located north and east of 20323 St. Francis Blvd. The land, previously owned by the Wirz family, is currently zoned I-1, Industrial (front 30 acres) and RRA, Rural Residential Agriculture (rear 40 acres). The zoning as well as the proposed subdivision, is consistent with the City's 2040 Land Use Plan and 2013 Frontage Road Plan. A public hearing is required for a plat.

The applicants own CST Companies which distributes products to convenience stores and gas stations that you typically see outside like salt, windshield washer fluid, firewood, etc. They wish to build a 29,250 SF office/warehouse on Lot 1 closest to St. Francis Blvd. The request includes a large outdoor storage area for trucks and would require an Interim Use Permit as part of the future site plan approval.

## EXHIBITS

Exhibit A – Concept Plan Application (3 pages)  
Exhibit B – Site Location  
Exhibit C – Conceptual Development Plan – Option A  
Exhibit D – Conceptual Development Plan – Option B  
Exhibit E – Preliminary Wetland Locations  
Exhibit E – 2040 Land Use Plan  
Exhibit F – Frontage Road Plan  
Exhibit G – Park and Trails Plan  
Exhibit H – City Engineer's Review

## ANALYSIS

**Land Use.** The property is guided Commercial/Light Industrial on the City's 2040 Land Use Plan with which the subdivision concept is consistent.

**Zoning.** The subject property is currently zoned I-1, Industrial and RRA, Rural Residential Agriculture. The following table shows the types of permitted uses allowed within these districts.

District Standards	RRA, Rural Residential Agriculture	I-1, Industrial
Permitted Uses	Single Family Residential Structures, Agriculture and hobby farms (Min. 3 acres required to have farm animals, except that chickens may be allowed on less than 3 acres subject to Section 11-4-15 of the City Code	Auto repair; Building materials sales; Commercial printing establishments; Compounding, assembly, packaging, treatment, or storage of products and materials except waste; Laboratories, research and development facilities; Manufacturing; Offices; Warehousing including self-storage facilities; Wholesale businesses.
Permitted Accessory Uses	Sheds and pole barns, regulated by lot size and number	Buildings and structures for a use accessory to the principal use but such use shall not exceed thirty percent (30%) of the gross floor space of the principal use.
Outdoor Storage	Limited per Section 11-4-14 and 11-4-16 of the City Code	Same As a principal or accessory use by IUP
Lot Sizes	Min. 2.5 acres, overall average of five (5) acres; min. street frontage is 150 ft. and 75 ft. on cul-de-sacs; 300 ft. lot width	Min. 1 acre 165 foot lot width 50 feet of street frontage
Setbacks	150' from CL of St. Francis Blvd. 120' from CL of local streets 20' side, 35' rear	150' from CL of Nowthen Blvd. 150' from CL of Viking Blvd. 70' from CL local streets 20' side, 35' rear
Bldg. Materials	Variable, as allowed under Section 11-5-3 of the City Code	The building shall be required to be faced with grade A, B, C or D material on wall surfaces abutting public rights of way, a nonindustrial zoning district, an adjacent industrial building with brick, wood, stone or decorative concrete wall surfaces, residential uses, or public areas. The required wall surface treatment may allow a maximum of fifty percent (50%) of the metal or fiberglass wall to remain exposed if it is coordinated into the architectural design and is similar to the building frontage.
Min. Foundation Size	1,200 SF multi-story homes 1,800 SF ramblers/single story	2,000 SF

**Outdoor Storage Area IUP.** Outdoor storage as a principal or accessory use within the I-1 District requires approval of an Interim Use Permit and compliance with the following:

1. The storage area is fenced and screened from view of neighboring residential uses, abutting residential districts and the public right-of-way.
2. The storage area is surfaced with asphalt, concrete or pavers to control dust.
3. The storage area does not take up parking space as required by this Chapter.

**Parking.** The required parking ratios are shown below and are based on the square footage of building space.

Office: 1 space per 200 SF

Warehouse: 1 space per 1,000 SF

**Lot Sizes, Widths and Street Frontage.** All proposed lot sizes, widths and street frontage appears to comply with minimum standards. The density requirement of the residential portion of the plan has 8 lots per 40 acres which is in compliance with the RRA District. It is recommended that the lot line between Lots 5 and 6 be revised such that the triangular remnant at the back of Lot 6 is made part of Lot 5 (the lot line can run through the wetland).

**Streets.** The City Engineer has reviewed the concept plans and his comments are contained in Exhibit H.

**Impervious Surface Requirements.** The size of structures on any industrial lot shall not exceed twenty (20%) percent of the total lot area. The maximum area of impervious land coverage, to include the building and all paved or impervious surfaces, shall not exceed seventy (70%) percent of the total lot area.

Impervious surface area of residential lots is limited to 35% of the total lot area. Plans should include the calculations of all impervious surfaces.

**Buffer Yard.** Section 11-4-17.M.2.a requires that a minimum of one hundred (100) feet of buffer yard is required along property lines which separate commercial or industrial and residential uses which may consist of either natural, wetland, woods open space, man-made ponding or a combination thereof. The usable area of Lot 4 (industrial lot) is severely restricted. Consideration should be given to requiring a linear park or trail corridor which extends north to the property limits that could someday tie into Verde Valley Road.

**Wetlands, Easements, and Buffers.** Exhibit E contains the estimated wetland locations based on aerial photography. Kjolhaug Environmental Services will be doing the official wetland delineation as weather allows. Easements shall be required for drainage and utility purposes over all ponding areas. Drainage calculations and stormwater ponding will be required and

should be shown on a separate grading and drainage plan. Wetland buffers and buffer signage shall be required throughout the subdivision.

Lot Buildability. Section 10-3-5.B requires that all lots must have at least a one (1) acre contiguous net buildable parcel at the proposed building site that meets the following physical characteristics:

1. A minimum of twenty-three thousand (23,000) square feet of land area with a three (3) foot separation between the final surface elevation of the lot and the highest known water table. The balance of the acre is to have at least a one (1) foot separation consisting of only existing natural soils. The basement floor elevation should maintain a one (1) foot separation above mottled soil.
2. The highest known water table is to be determined by soil borings indicating mottled soil. The minimum boring depth shall be six (6) feet.
3. The entire acre is to have an average slope of twelve percent (12%) or less. Lots with slope in excess of twelve percent (12%) will be subject to review by the City Engineer.
4. The site is to have soils with physical properties and percolation rates suitable for the construction of an onsite sewage disposal system conforming to City and State standards, and the structural capacity to support normal buildings, driveways, and usable yards. Each site is to include an area situated as to provide for at least one (1) additional drainfield site.
5. The City Engineer may allow deviation from these separations if the applicant submits evidence certified by a licensed geotechnical engineer that a lesser separation can be achieved. Certification by a licensed geotechnical engineer shall include field monitoring of the groundwater with piezometers over a period of 30-60 days to establish the highest anticipated ground water elevation or equivalent method.

Piezometer: an instrument for measuring the pressure of a liquid or gas; a shallow well or standpipe often used in boreholes to monitor the pressure or depth of groundwater.

**Park and Trail Dedication.** The Frontage Road Plan contained in Exhibit F and the Park and Trails Plan contained as Exhibit G both show the subject property being partially within a park search area. In all new subdivisions, as defined in Section 10-3-8 of the City Code, the subdivider shall be required to make a cash contribution to the City's park fund and to the City's trail fund and/or shall dedicate land for parks, trails, and public open spaces. The Planning and Zoning Commission should provide recommendation regarding parks and trails within this plat.

The cash in lieu of land dedication amount is \$2000/lot for parks and \$500/lot for trails.

Section 10-3-4.O states that where a proposed park or playground shown in the Comprehensive Plan is located in whole or in part within a proposed subdivision, the area of such proposed

park or playground shall be designated as such upon the subdivision plat and be set aside and dedicated to the public for public use as a park and playground as authorized by Section 462.358 of Minnesota Statutes.

Section 10-3-4.P states that trail easements shall be dedicated within or adjacent to all subdivisions. Trails shall be provided to create a continuous trail system within the subdivision and connecting to other adjacent properties. Trail easements shall be provided on at least one side of all streets and as other locations deemed appropriate by the City Council. Trail easements shall be a minimum twenty (20) feet wide, where required.

**Fire Lanes.** A minimum twenty (20) foot fire lane, from public streets to areas surrounding the building, must be clear of all parts, materials, equipment, vehicles and/or debris at all times. The site plan shall be subject to review and approval of the Fire Chief to ensure large vehicle accessibility.

#### **Septic System Compliance**

Soil borings and septic system design must be submitted for review by the City Building Official prior to issuance of a building permit. The septic system, tanks, and drain field shall be shown on the site plan. An alternate septic drain field site must be preserved somewhere on the property for future use and must be protected from disturbance or compaction.

**Exterior Lighting.** Exterior lighting on/in building, parking, driveway or outdoor storage areas must be shown on a lighting plan to be reviewed by the City Planner and Building Official. Lighting must not shine onto neighboring properties or the public street(s).

**Trash and Recycling Enclosures.** All business and industrial uses are required to fence and screen trash and recycling enclosures. This not only improves the appearance of properties but also prevents errant debris from blowing around. The locations of these receptacles should be indicated on the site plan.

**Signs.** All property signage requires a building permit and review by the City Zoning Administrator to ensure compliance with Section 11-7-3 through 11-7-6 of the City Code.

#### **NEXT STEPS**

1. Wetland Delineation and Application
2. Meet with City Staff
3. Prepare Preliminary Plat, Grading/Drainage and Stormwater Plans – public hearing and approval required prior to Final Plat preparation

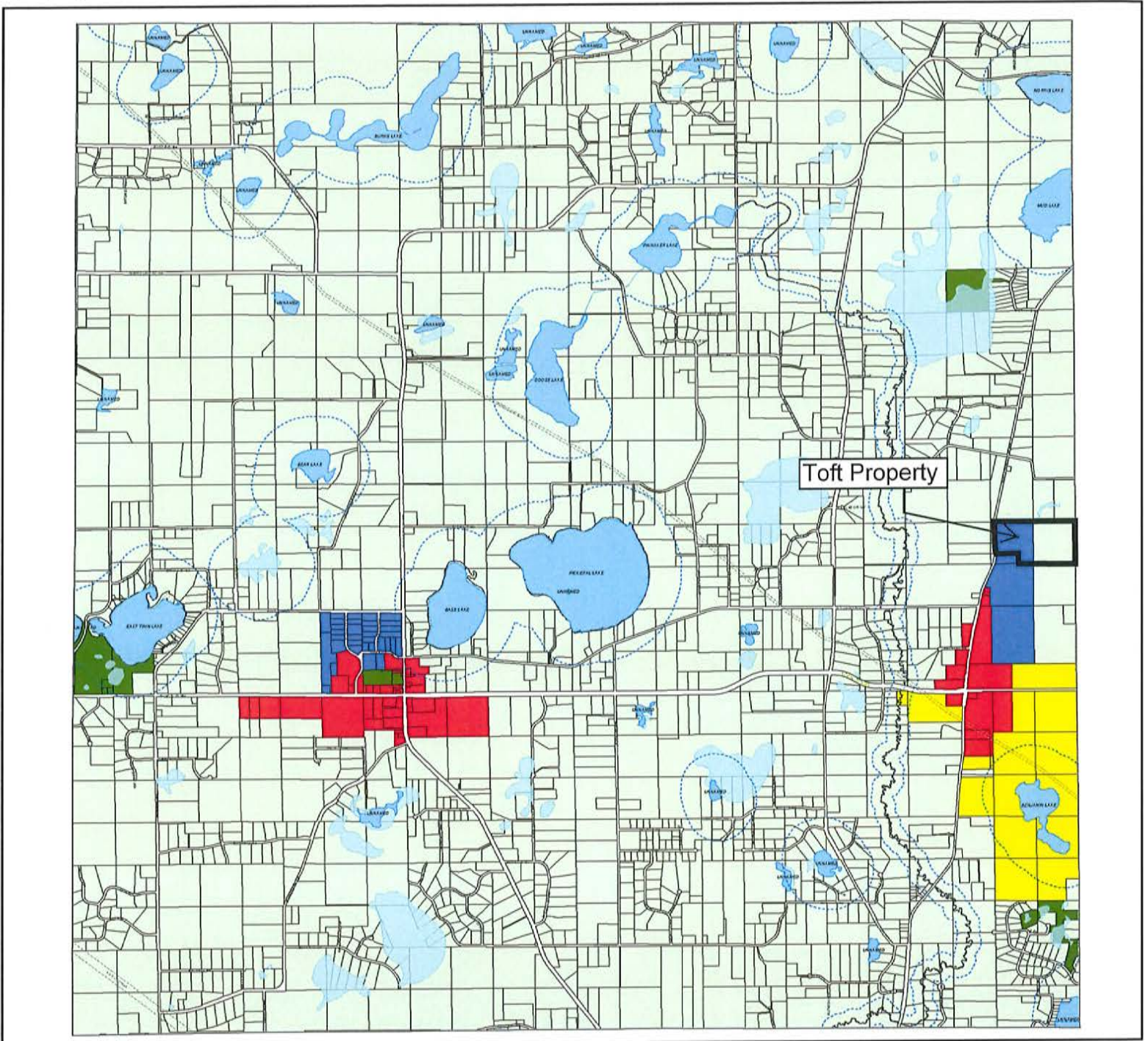
4. Final Plat Approval, Development Agreement, Letter of Credit, Consent to Plat, Recording, etc.
5. Individual Site Plan Reviews and Interim Use Permit (if required for Outdoor Storage or as outlined in the respective Zoning District for specific uses)

c. Lori Streich, City Clerk  
Ellen Lendt, Deputy Clerk  
Shane Nelson, City Engineer

NOTICE: City files must be consulted to verify the zoning classification of property in addition to this map.

# CITY OF NOWTHEN

## Zoning Map



### ZONING

- C-1 - Commercial District (370 acres / 1.74%)
- I-1 - Industrial District (220 acres / 1.04%)
- CON - Conservancy District (156 acres / 0.74%)
- RRA - Rural Residential Agriculture (19,897 acres / 94.20%)
- RRT - Rural Residential Transition (478 acres / 2.26%)
- Shoreland Overlay District

**A**

**TPC**  
The Planning Company

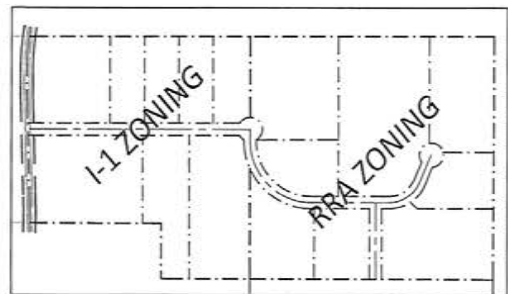
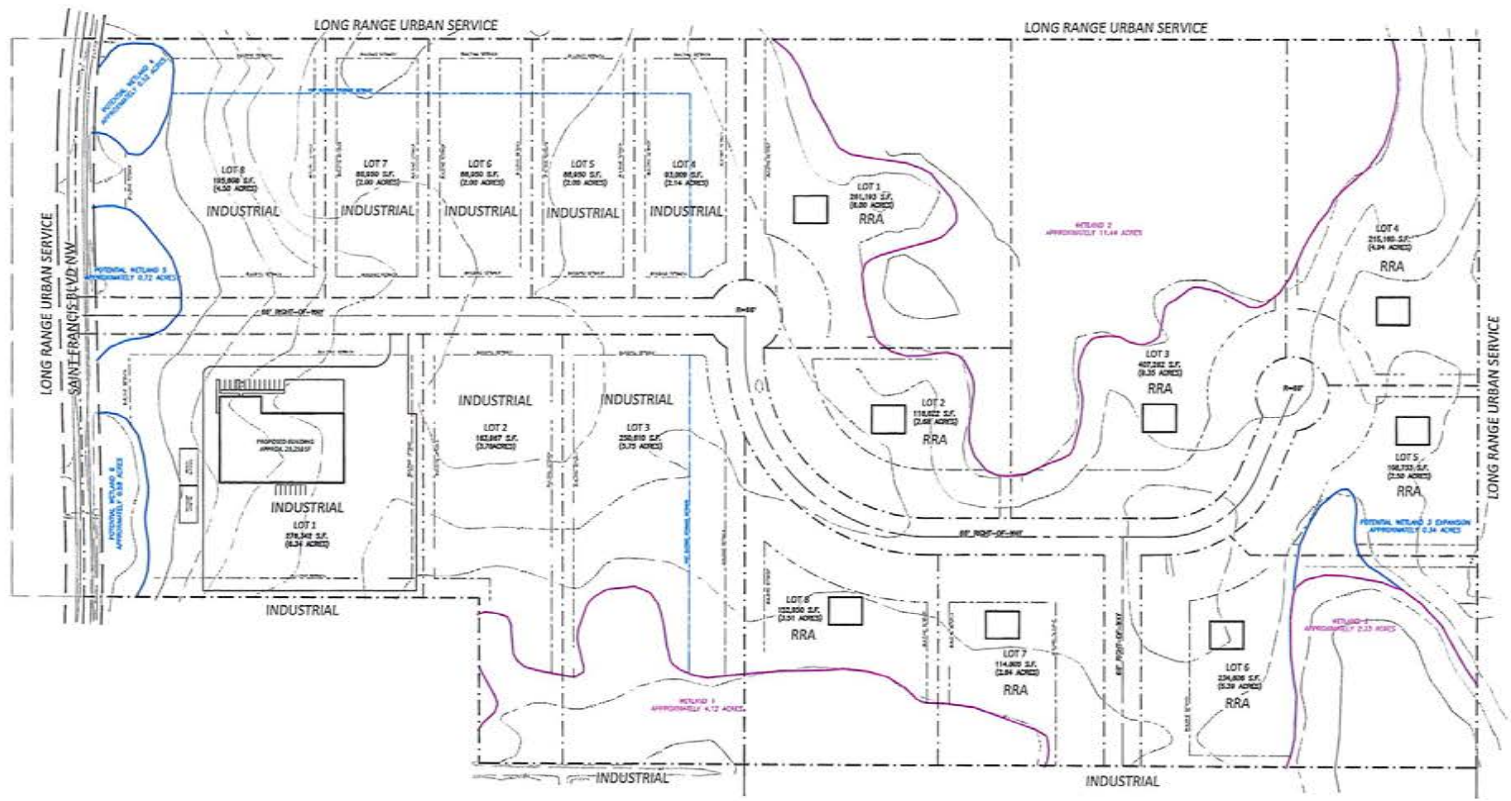


SOURCES: CITY OF NOWTHEN, ANOKA COUNTY, MN DNR, HAA, TPC

Adopted: Aug 11, 2020

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# CONCEPT PLAN FOR MEGAN AND CHAD TOFT

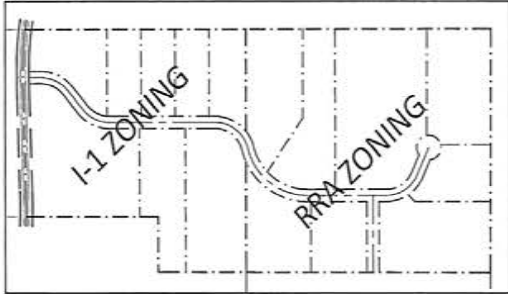
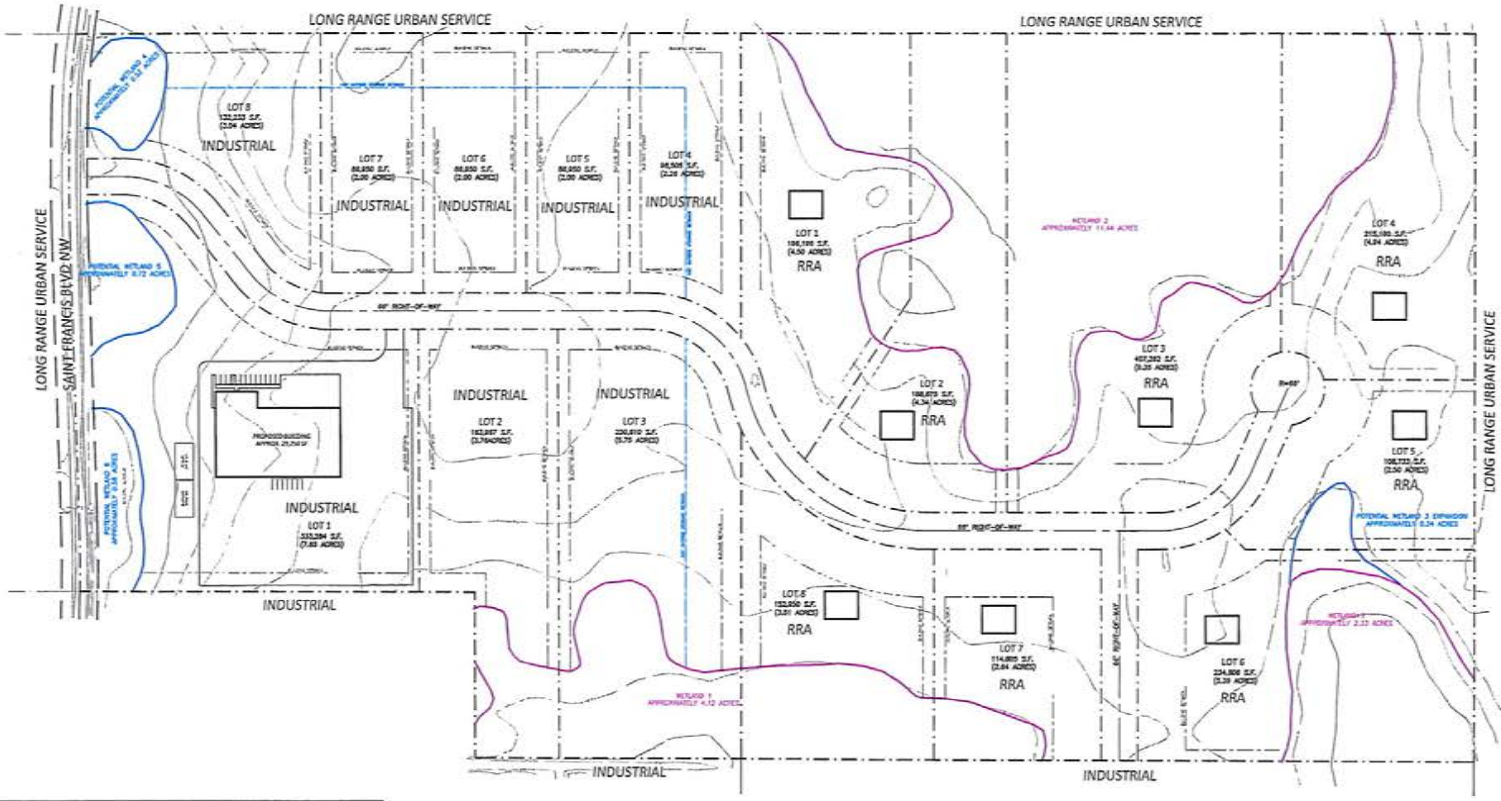


- NOTES:
- PARCEL ID 24-33-25-12-0005 (30.42 ACRES)
  - PARCEL ID 24-33-25-11-0001 (39.86 ACRES)
  - ESTIMATED WETLAND BOUNDARIES PROVIDED BY KJULHAUG ENVIRONMENTAL (WETLAND DELINEATION TO BE COMPLETED IN THE SPRING)

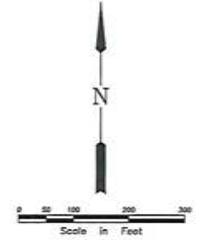


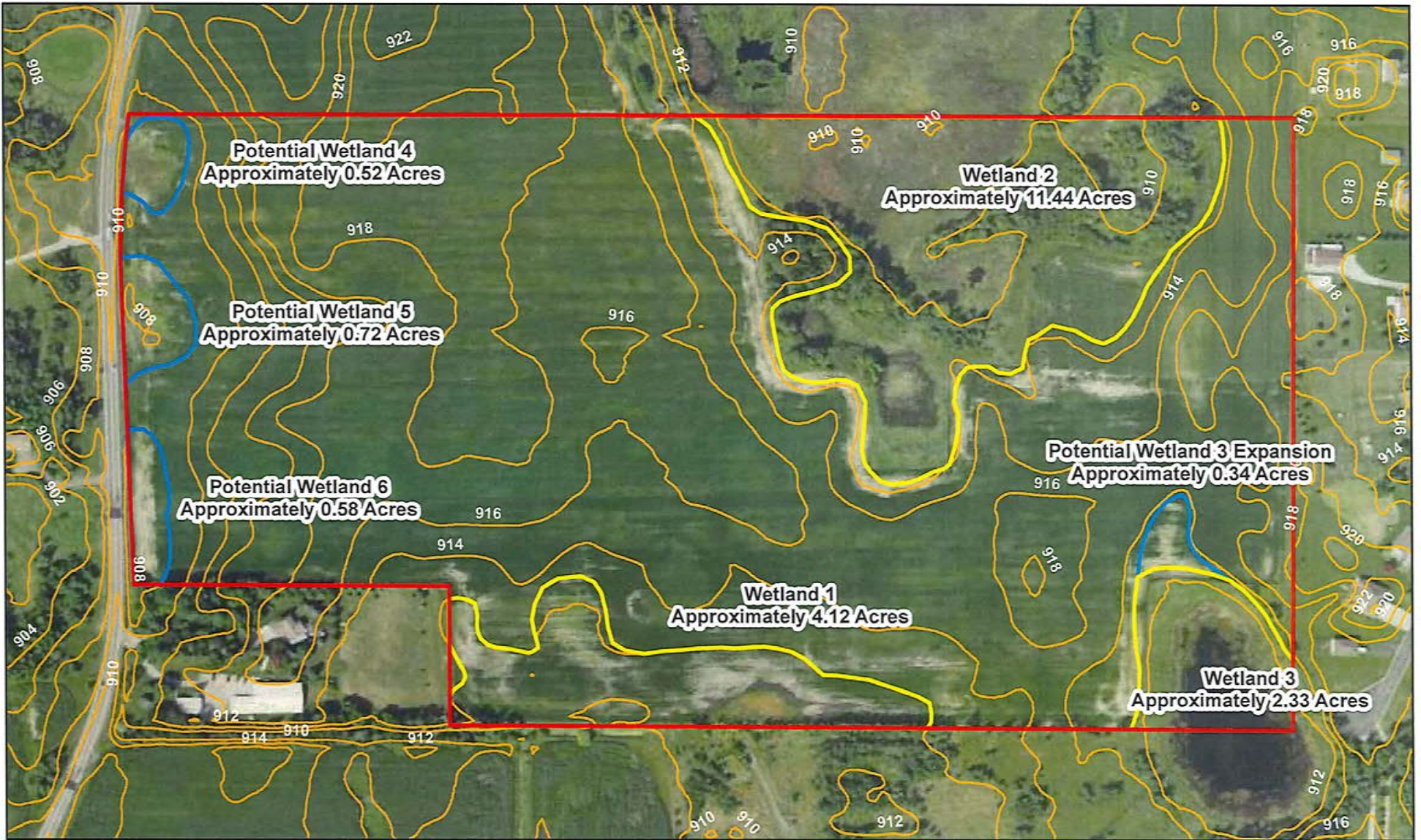


# CONCEPT PLAN FOR MEGAN AND CHAD TOFT



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**Wetland Estimate Map (2017 FSA Photo)**

**KJOLHAUG** ENVIRONMENTAL SERVICES COMPANY  
 Source: MNGEO Spatial Commons



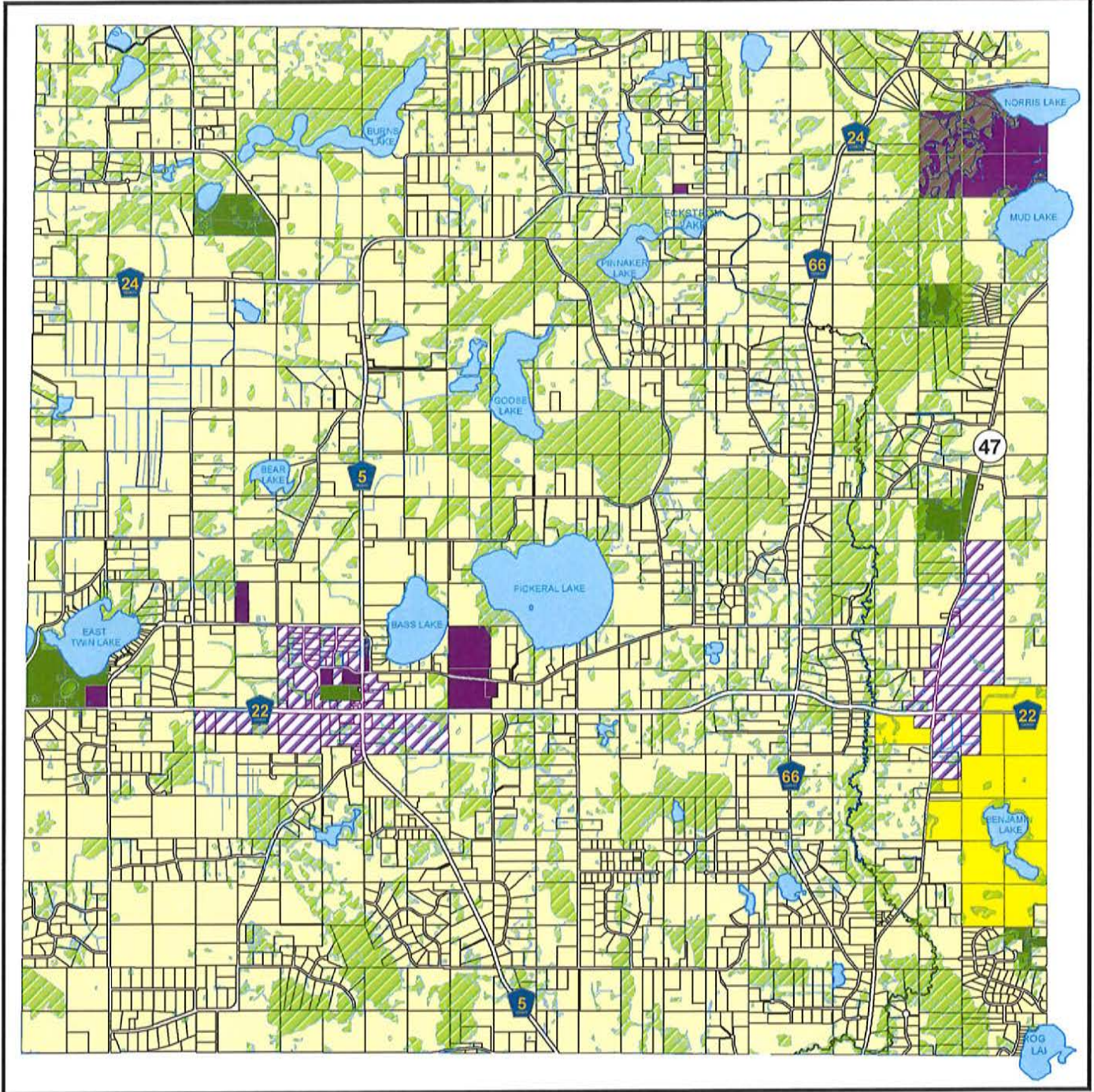
- Project Boundary
- Estimated Wetland Boundary
- Potential Wetland
- Anoka County Lidar

**Saint Francis Blvd NW Site (KES 2021-013)**  
**Nowthen, Minnesota**

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

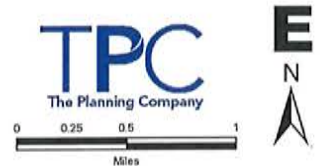
# CITY OF NOWTHEN

## 2019 COMPREHENSIVE PLAN



### 2040 LAND USE PLAN

-  Wetlands
-  Rural Residential (Transition) (478/2.1%)  
20/40 2.0ac+
-  Rural Residential (Permanent) (19452 acres / 86.4%)  
8/40 2.5ac+
-  Commercial / Industrial (626 acres / 2.8%)
-  Public and Quasi Public (335 acres / 1.5%)
-  Parks and Open Space (142 acres / 0.6%)



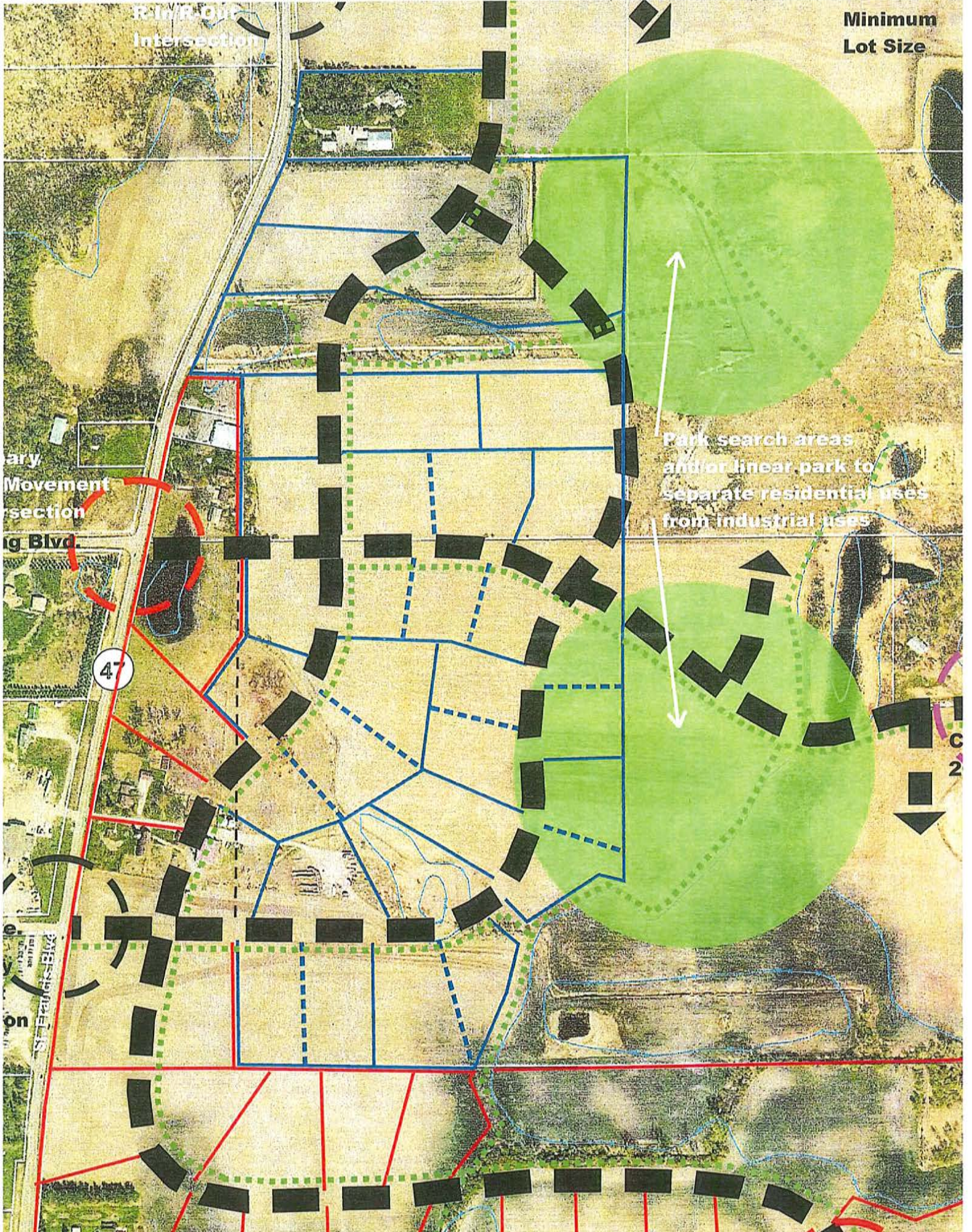
SOURCES: CITY OF NOWTHEN, ANOKA COUNTY, MN DNR, HAA, TPC

MAP DATE: 5 MAR, 2019

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R-1/R-0.5  
Intersection

Minimum  
Lot Size



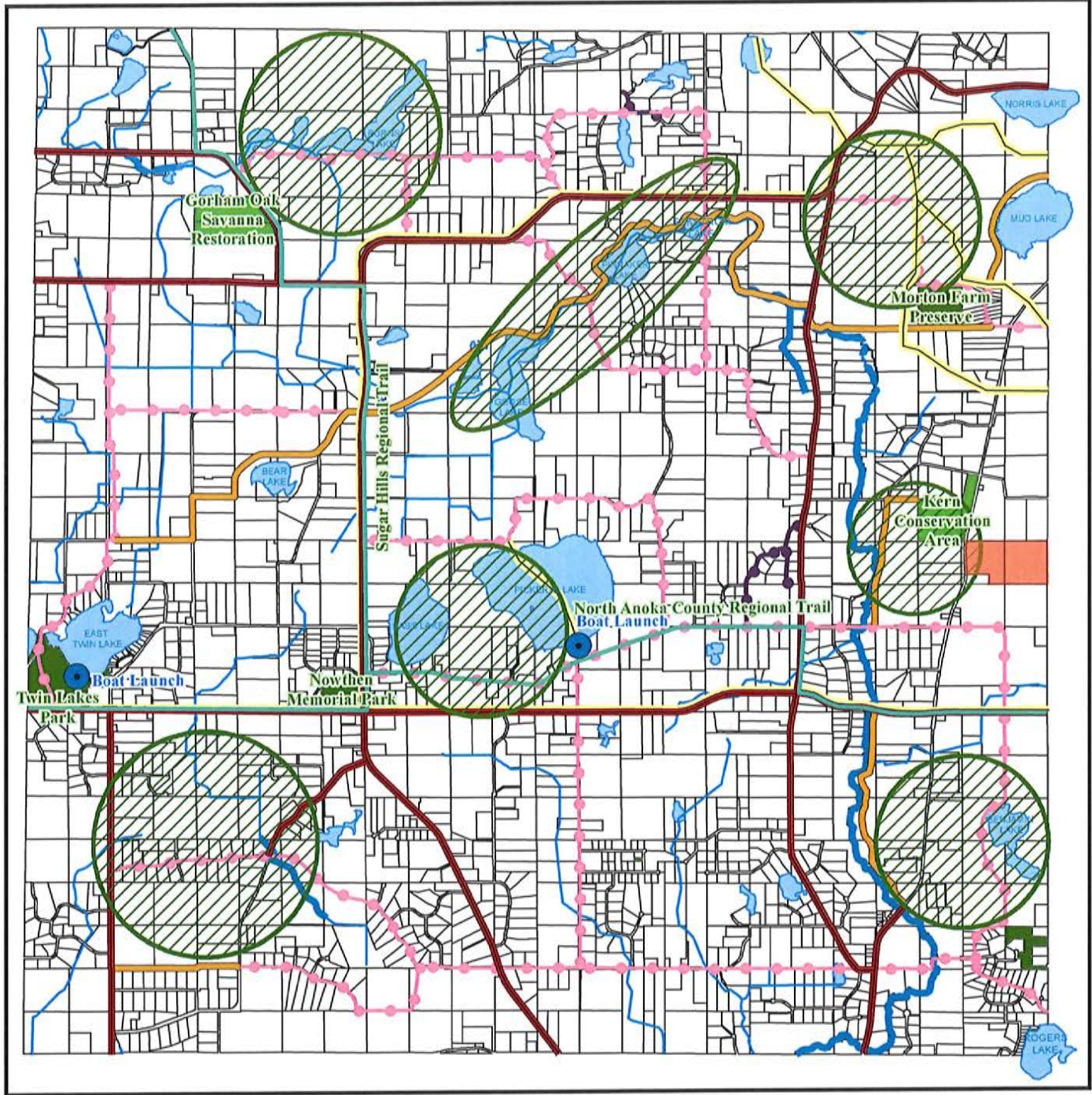
ary  
Movement  
Intersection  
ing Blvd

47

on

C  
2

Park search areas  
and/or linear park to  
separate residential uses  
from industrial uses



# PARK AND TRAIL PLAN

- Snowmobile Trails (Winter Only)
- Potential Natural Trails
- Potential Trail Corridors (County Roads)
- Potential Trail Corridors (City Streets)
- Existing Trails
- Proposed County Regional Trail

- Parks
- Conservation Areas
- Potential Park Search Areas

**G**

Miles  
0 0.25 0.5 1

SOURCES: CITY OF NOWTHEN, ANOKA COUNTY, MN DNR, HAA, TPC, 2004 BURNS TOWNSHIP PARK AND TRAIL PLAN

MAP DATE: 27 FEB, 2018

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