



City of Nowthen
PLANNING & ZONING COMMISSION MEETING
TUESDAY APRIL 23, 2024
A G E N D A
7:00 PM

1. **Call to Order and Pledge of Allegiance: 7:00 p.m.**
2. **Roll Call**
3. **Approve/Amend Agenda**
4. **Approve/Amend Minutes from March 26, 2024, Regular Meeting**
5. **Public Hearings**
 - a. **Preliminary Plat and Conditional Use Permit – Petersen Acres (PID: 21-2-33-25-22-0004)**
 - b. **Preliminary Plat – Nowthen Pastures (PID: 08-33-25-41-0001)**
6. **Old Business**
7. **New Business**
 - a. **Review 2024 Draft Policy of Planning and Zoning Commission**
 - b. **Discussion on meeting start times**
8. **Adjournment**

CITY OF NOWTHEN MEETING MINUTES
PLANNING AND ZONING COMMISSION REGULAR MEETING
MARCH 26, 2024

CALL TO ORDER

Chair Ames called the meeting to order at 7:00 pm.

Those assembled recited the pledge of allegiance.

Present: Ames, Haapala, Jorgensen, Bies, Lewis, Carlson and Pearo

Also Present: Liaison Mayor Pilon, Planner Nash, City Administrator Lehner, City Clerk Johnson and Administrative Assistant Riley.

MOTION BY PEARO, SECOND BY BIES TO APPROVE THE AMENDED AGENDA FOR TONIGHT'S MEETING. MOTION CARRIED. SEVEN (7) AYES.

MOTION BY AMES TO AMEND MINUTES TO LIST NAMES FOR VOTING AND CORRECT THE NUMBER TO 7, SECOND BY HAAPALA TO APPROVE THE MEETING MINUTES OF FEBRUARY 22, 2024. MOTION CARRIED. SEVEN (7) AYES.

ITEM 5a. PUBLIC HEARING: PETERSEN ACRES PID:21-2-33-25-22-0004

Preliminary plat to subdivide the property into a road, 6 lots and an outlot known as Petersen Acres. # 6 lot is an existing home.

Planner Nash reviewed the plat drawings, the findings and recommendations and the engineering review. DNR stated that split meets requirement for shoreland. 2 septic sites per plat. 2 stormwater ponds will be located on outlot A and Lot #5. 205th will have no improvements to the road (will remain gravel)

Residents in attendance (see attached sign in sheet) expressed concerns regarding the proposed lot split.

1. Water drainage – will the 2 holding ponds proposed fix the flooding issues? Will a stormwater maintenance agreement be put in place? What happens if the holding ponds don't work and there is still flooding?
2. Can access be given to Bass Lake? This is a privately owned lake as noted by some of the residents, commissioners and Mayor Pilon.
3. What will be the alternative locations to access the development while houses are being built?
4. Will 205th be tarred? Will at least the entrance into the development be tarred as it has been required for other developments. Who is responsible for the cost of this and also future maintenance of the road?
5. Why can't road/driveway come in/off of Cty Rd 5? Residents would like to know the reason for the county denying this request.

6. Would like more information regarding the assisted living property and potential occupants – **there is no current application with the City of Nowthen for the assisted living home. As long as the number of people living in the home is under the number allowed by state law there are no special requirements – treated as a SFR.**
7. Can land be donated in lieu of Park & Rec Fee? Or Visa Versus. Mayor Pilon indicated that the Park & Trail Plan needs to be reviewed to come up with park dedication \$ amount.
8. Can the driveway for Lot 6 be placed in a different location?

ACTION: NEED TO LOCATE THE PARK & TRAIL PLAN AND SEND COPIES TO PLANNING AND ZONING MEMBERS.

ACTION: COUNTY HAS ADDITIONAL OPTIONS FOR ACCESS TO THE DEVELOPMENT (OFF CTY RD 5 AND 205TH)

MOTION BY HAAPALA TO CONTINUE PUBLIC HEARING UNTIL NEXT MEETING APRIL 23,2024, SECOND BY JORGENSEN, MOTION CARRIED. 7 (SEVEN) AYES.

ITEM 5b. PUBLIC HEARING: ORDINANCE AMENDMENT RELATED TO HOME OCCUPATIONS IN COMMERCIAL ZONING DISTRICT

Planner Nash reviewed the amendment to the ordinance.

MOTION BY PEARO TO SEND TO CITY COUNCIL FOR RECOMMENDED APPROVAL AT APRIL 9, 2024 MEETING FOR ORDINANCE AMENDMENT, SECOND BY BIES, MOTION CARRIED. 7 (SEVEN) AYES.

ITEM 5c. PUBLIC HEARING: INTERIUM USE PERMIT FOR A HOME OCCUPATION – 8150 VIKING BOULEVARD

Planner Nash reviewed the owners request for the IUP and Chair Ames closed the hearing at 9:10pm.

MOTION BY BIES TO SEND TO CITY COUNCIL FOR RECOMMENDED APPROVAL AT APRIL 9, 2024 MEETING FOR IUP TO BE ISSUED, SECOND BY JORGENSEN, MOTION CARRIED. 7 (SEVEN) AYES.

ITEM 7a. FINAL PLAT – MACKENZIE HILLS

The plat was approved in December 2023 by the City Council. Development agreement is needed for the Final Plat approval.

MOTION BY AMES TO APPROVE FINAL PLAT FOR MACKENZIE HILLS, SECOND BY JORGENSEN, MOTION CARRIED. 7 (SEVEN) AYES.

**MOTION BY HAAPALA, SECOND BY CARLSON TO ADJOURN THE MEETING. MOTION CARRIED.
7 (SEVEN) AYES.**

The meeting was adjourned at 9:24 PM.

Chairman Dale Ames

Attest:

City Administrator Scott Lehner

DRAFT



SIGN - IN SHEET

Meeting: 3/26/24 Planning + Zoning Date: _____

PLEASE PRINT

	NAME	ADDRESS
1.	Martin & Michelle Eyr	905th Ave NW Nowthen
2.	Tim Benson	22575 Jarvis St NW
3.	Matt & Brianna Schmid	20699 Peridot St NW
4.	Sam Almetson	7581 205th Ave NW
5.	Joel & Victoria Ketter	20465 Nowthen Blvd NW
6.	Tom Sorenstahl	7933 205th Ave NW
7.	Molly Gahn	"
8.	Isaac Schultz	7716 205th Ave NW
9.	Sam Bredahl	7747 205th Ave NW
10.	Jen Himmelberger	8150 Viking Blvd NW
11.	Shawn Himmelberger	"
12.	Matthew Loockar	7067 207th Ave NW
13.	Dave Pearo	7500 205th Ave NW
14.	PATRICK + KRISANDRA KRAMER	7163 207th Ave NW NOWTHEN, MN
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PLANNING AND ZONING COMMISSION MEETING

ATTENDANCE RECORD

March 24 2024

Dale Ames	<i>Dale Ames</i>
Harold Jorgensen	<i>Harold Jorgensen</i>
Kelly Pearo	<i>Kelly Pearo</i>
Martin Bies	<i>Martin Bies</i>
Dan Haapala	<i>Dan Haapala</i>
Jamie Lewis	<i>Jamie Lewis</i>
Lars Carlson	<i>Lars Carlson</i>
Jeff Pilon, Liaison	<i>Jeff Pilon</i>
Administrator Lehner	<i>Administrator Lehner</i>
Planner Nash	Signature: <i>Cynthia Nash</i>
	Email: cnash@collaborative-planning.com

X

Collaborative Planning, LLC

Memorandum

Date: April 16, 2024
To: Planning and Zoning Commission
From: Cindy Nash, City Planner
RE: Preliminary Plat – Petersen Acres

Description of Request

Greg Petersen has submitted an application for a conditional use permit and preliminary plat. The property consists of approximately 45.53 acres and is located east of Nowthen Blvd NW and south of 205th Ave NW.

The Developer is proposing to develop the site into six (6) lots and one (1) outlot. There is an existing home on what is proposed to be Lot 6.

The following items are included in the packet for review:

1. City Planner Comment Letter
2. City Engineer Comment Letter
3. Building Official Comment Letter
4. Preliminary Plat
5. Preliminary Plan Set

Item 1: Recommendation on Conditional Use Permit

Public Hearing: April 23, 2024 Planning Commission

Per the Zoning Ordinance (Section 10-3-4 G.), flag lots shall generally not be permitted, except under unique circumstances and through approval of a Conditional Use Permit where practical difficulties can be shown to exist due to natural features, physical constraints, or existing street and lot arrangements. If the justification for the approval of a flag lots exists, the following minimum flag lot standards shall apply (staff comments noted in italics below):

1. Flag lots and access easements shall only be allowed in residential zoning districts.

Staff Note: This property is zoned Rural Residential Agriculture.

2. The creation of a flag lot should not prevent the possibility of future development of other adjacent or interior parcels without a public street being extended to them through the parcel for which the flag lot is requested.

Staff Note: The proposed flag lot encompasses the existing portion of the property utilized for a home. The flagpole portion is directly next to a small property consisting of less than 2 acres that is already developed on 205th Avenue NW.

3. The potential negative impacts on neighboring property values are considered, including but not limited to privacy and visual impact, and the subdivision will not have an adverse impact on existing or future residences in the vicinity. Screening may be required via vegetation and/or fencing.

Staff Note: The driveway for the flag lot is already in place. From a privacy and visual impact, there would be no difference as compared to the existing condition.

4. Not more than one (1) flag lot may be created as part of any minor subdivision or subdivisions involving up to ten (10) lots. In subdivisions involving ten (10) or more lots, no more than ten (10) percent of the lots may be flag lots.

Staff Note: Only one flag lot is proposed, which meets this requirement.

5. All minimum front, side and rear setbacks for principal and accessory structures can be met on the flag or new lot as well as the parcel from which the lot was split. All setbacks shall be measured from that point where the “flagpole” portion of the flag lot (or the access easement in existing situations) ends. Both lots must be large enough to accommodate the number and square footage of accessory structures as allowed in the Zoning Ordinance.

Staff Note: The parcel consists of 5.83 acres, and per the preliminary plat submitted it is sized sufficiently to meet all setback requirements.

6. An existing flag lot or lot provided access via an existing easement may not be split without the provision of public street access. Direct access to a public street and ownership of the “flagpole” portion of a flag lot is required. New access easements are prohibited.

Staff Note: Not applicable.

7. For lots which will gain access from a local roadway, any new driveway access must be separated from other driveways a distance equal to one-half (1/2) the minimum lot frontage requirement of the zoning district in which it is located unless otherwise approved by the City Council.

Staff Note: No new driveway access is proposed.

8. The width of the “flagpole” or access drive may be no less than sixty-six (66) feet, except as may be allowed by the City Council in situations where no possibility of street extension exists, the width may be reduced to thirty-three (33) feet. No structures of any kind may be built within the “flagpole” portion of the lot or within easements.

Staff Note: The flagpole is 109 feet wide and meets this requirement.

9. The driveway surfacing, clearance and radius must be designed to accommodate emergency fire vehicles.

Staff Note: The driveway surfacing is gravel. The requirement that it accommodate emergency fire vehicles can be included as a permit condition.

10. The address of the flag lot (or existing parcels accessed via an easement) must be clearly visible from the public street.

Staff Note: This can be a permit condition.

11. Drainage and utility easements shall be provided as required herein (Item L of this subsection) or as recommended by the City Engineer and approved by the City Council. The final plat or certificate of survey must include a driveway plan and utility plan.

Staff Note: The City Engineer has reviewed drainage and utility easements. These will be finalized with a final plat application.

12. The City Council may require the driveway(s) to be paved or require installation of curb, gutter, and other drainage control measures to prevent runoff from entering neighboring properties.

Staff Note: A condition is included in the draft findings that would allow for the City Engineer to require this if determined necessary.

13. If a shared driveway is proposed, a driveway maintenance agreement shall be recorded with Anoka County which insures perpetual shared maintenance and repair of the accessway among property owners.

Staff Note: Not applicable.

Recommendation

Staff recommends approval of the conditional use permit subject to the conditions found in the draft “Findings and Recommendations” document.

Item 2: Recommendation on Preliminary Plat

Public Hearing: March 26 and April 23, 2024 Planning Commission

Preliminary plats provide the layout for lots and blocks for future sale and ownership of specific parcels. The preliminary plat is “preliminary”, however, approval of a preliminary plat gives the property rights by State law.

Land Use

The proposed land use is six (6) lots. Stormwater ponding is located within the lots and the outlot.

Outlot A is not buildable and is proposed to be sold to the property owner to the northwest.

The property is also located in the shoreland overlay district and appears to meet shoreland requirements. The plat and plans were provided to the DNR, and they did not have any changes or comments regarding the proposed plat.

Access, Roads, Guest Parking, Pedestrian Circulation

One street is proposed to be constructed, which is a new cul-de-sac proposed to be named Petersen Court which is proposed to gain access from 205th Ave NW.

No improvements are proposed to 205th Ave NW.

The County is reviewing the proposed access to the property and the possibility of being accessed directly from Nowthen Blvd NW instead of 205th Ave NW. Additional information will be provided at the meeting.

Lots

Lots 1 through 5 appear to meet the City’s ordinances requirements, subject to any comments in the City Planner or City Engineer comment memos.

Section 10-3-4 G. of the Subdivision Ordinance does not permit flag lots unless a Conditional Use Permit is granted. The applicant applied for a Conditional Use Permit, which is also on the agenda for consideration this evening. The proposed flag lot (Lot 6) contains the existing house on the property and would preserve its orientation and driveway to 205th Ave NW.

Utilities

Ponding is located in lots and will have a Drainage & Utility easement over them. A stormwater maintenance agreement will be required.

All lots will be served by individual well and ISTS. Septic review is underway, and a preliminary memo from Rum River Consultants is included in the packet.

Parks and Trails

Park dedication is required for this plat and will be calculated at the time of execution of the development agreement.

A potential trail is shown in the Comprehensive Plan adjacent to 205th Avenue NW. The Subdivision Ordinance requires the dedication of trail easements within or adjacent to all subdivisions. It is recommended that a twenty (20) foot wide trail easement be provided on the south side of 205th Avenue NW as proposed in the Comprehensive Plan. As the proposed new road ends in a cul-de-sac, the Council can decline to require one adjacent to that street.

Septic Systems

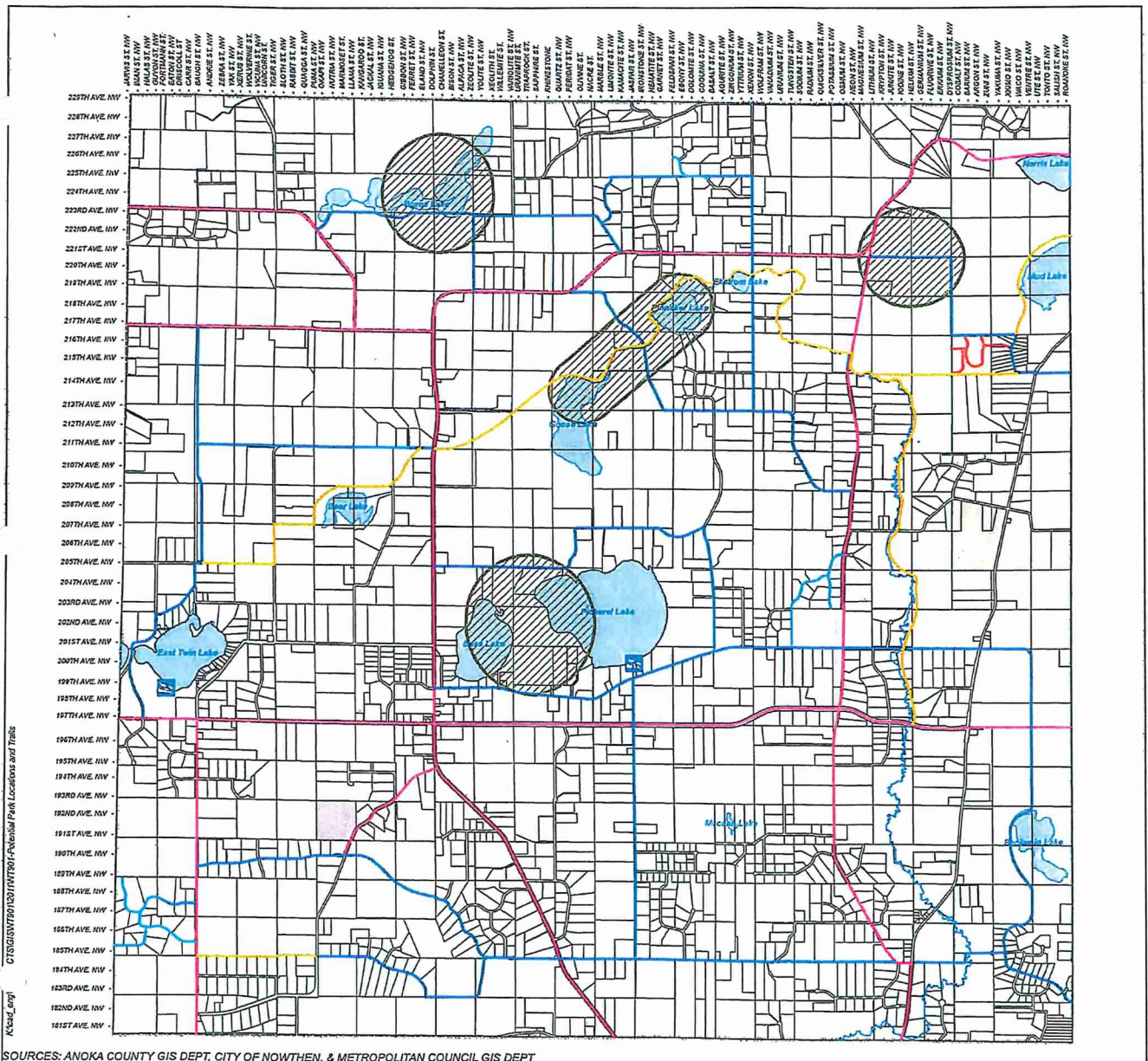
The Developer must address any comments related to review of proposed septic sites once that memo is received from the Building Official.

Engineering and Planning

The development should comply with the comments in the City Engineer and City Planner comment memos.

Recommendation

Staff recommends approval of the preliminary plat subject to the conditions found in the draft “Findings and Recommendations” document.



City of Nowthen

Potential Park Locations and Trail Corridors

LEGEND

- City Park
- Potential Park
- Conservation Easement
- Wildlife Management Area
- Potential Trail Corridors along County Roads
- Existing Trail Corridors along City Roads
- Potential Trail Corridors along City Roads
- Existing Natural Trail
- Potential Natural Trails
- Public Access Boat Launch



K:\data_cpy\GIS\GIS\7801\2011\MT1801-Potential Park Locations and Trails

SOURCES: ANOKA COUNTY GIS DEPT, CITY OF NOWTHEN, & METROPOLITAN COUNCIL GIS DEPT

**CITY OF NOWTHEN
ANOKA COUNTY, MINNESOTA**

PLANNING AND ZONING COMMISSION

**FINDINGS AND RECOMMENDATION
Conditional Use Permit for Flag Lot for Petersen Acres**

APPLICANTS: Greg Petersen
22575 Jarvis Street
Elk River, MN 55330

APPLICATION: Request for approval of a Conditional Use Permit for a flag lot for Petersen Acres

PLANNING AND ZONING COMMISSION MEETING: April 23, 2024

FINDINGS: Based upon review of the application and evidence received the Planning and Zoning Commission of the City of Nowthen now makes the following findings of fact:

1. Greg Petersen is the fee owner of the real property located at 7780 205th Ave NW, Nowthen, Minnesota as legally described in paragraph 2, herein after referred to as the "Subject Property", which real property is proposed to be platted into six (6) residential lots.
2. The legal description of the property is:

Property Description (Trustee's Deed - Doc. No. 2395109.003): The Northwest 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25, Anoka County, Minnesota, EXCEPT the North 233 feet lying West of the East 946 feet thereof. AND That part of the Northeast 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25, lying West of the following described line: Commencing at a point on the North line of the said Northeast 1/4 of the Northwest 1/4 which point is 320 feet East of the Northwest corner thereof; thence South at right angles to said North line to the South line of said Northeast 1/4 of the Northwest 1/4; EXCEPT that part of the Northeast 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25 described as the East 200 feet of the West 320 feet of the North 440 feet as measured

along the North and West lines of the Northeast 1/4 of the Northwest 1/4 of said Section 21.

3. The Subject Property is zoned RRA – Rural Residential Agriculture District.
4. The Subject Property contains approximately 45.53 acres with direct access onto 205th Avenue NW.
5. The Developer has requested a preliminary plat so as to allow the Developer to plat the Subject Property into various lots as shown on a preliminary for a development entitled Petersen Acres, the most recent revision of said preliminary and plans prepared by Bogart, Pederson & Associates, Inc. and last updated February 15, 2024 (unless noted differently below) and containing the following sheets:

- Preliminary Plat – February 29, 2024
- Sheet C1 Site Plan
- Sheet C2 Grading Plan
- Sheet C3 Erosion Control
- Sheet C4 Plan and Profile
- Sheet C5 SWPPP Narrative
- Sheet C6 Construction Details

(the “Site Plans”); and

6. The memo from the City Planner dated March 19, 2024 is incorporated herein by reference. The staff report from the City Planner dated March 20, 2024 is incorporated herein by reference.
7. The memo from the City Engineer dated March 20, 2024 is incorporated herein by reference.
8. The Planning Commission held a public hearing, preceded by a published and mailed notice, on March 26 and April 23, 2024.
9. The Subject Property contains an existing single-family home that has a driveway to 205th Avenue NW on the eastern side of the property. This portion of the property is proposed to be platted as a flag lot.
10. The staff report prepared by Collaborative Planning, LLC dated April 16, 2024 outlines the conditions under which a flag lot may be permitted and is incorporated herein by reference.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning and Zoning Commission recommends approval of the **conditional use permit for a flag lot for Petersen Acres** subject to the following conditions:

1. No structures of any kind shall be built within the ‘flagpole’ portion of the lot or within easements.
2. The access from 205th Avenue NW must be designed and maintained to accommodate emergency vehicles.
3. The City Engineer may require the driveway to be paved or require other drainage control measures to prevent runoff from entering neighboring properties.
4. The City Council may hold a public hearing to revoke a conditional use upon the happening of any of the following events, whichever occurs first:
 - a. Upon violation of conditions under which the permit was issued.
 - b. The use or operation is discontinued for a period of one (1) year;
 - c. If a conditional use approved by the City Council is not exercised or put into effect within one (1) year of the date of approval, but fulfilling each and every condition included herein, unless a request is submitted to the City in writing no less than thirty (30) days prior to the deadline.
5. The applicants are responsible for all costs associated with the processing of this request.
6. Lot 6 is proposed to be a flag lot. Flag lots are only permitted upon the granting of a Conditional Use Permit. Either a Conditional Use Permit must be secured prior the granting of final plat approval, or the plat should be reconfigured to remove the flag lot.

MOTION BY:

SECOND BY:

ALL IN FAVOR:

THOSE OPPOSED:

THOSE ABSENT:

Adopted by the Planning and Zoning Commission of the City of Nowthen on this 23rd day of April, 2024.

Chair Dale Ames

ATTEST:

Scott Lehner, City Administrator

**CITY OF NOWTHEN
ANOKA COUNTY, MINNESOTA**

PLANNING AND ZONING COMMISSION

**FINDINGS AND RECOMMENDATION
Preliminary Plat for Petersen Acres**

APPLICANTS: Greg Petersen
22575 Jarvis Street
Elk River, MN 55330

APPLICATION: Request for approval of a Preliminary Plat for Petersen Acres

PLANNING AND ZONING COMMISSION MEETING: March 26 and April 23, 2024

FINDINGS: Based upon review of the application and evidence received the Planning and Zoning Commission of the City of Nowthen now makes the following findings of fact:

1. Greg Petersen is the fee owner of the real property located at 7780 205th Ave NW, Nowthen, Minnesota as legally described in paragraph 2, herein after referred to as the "Subject Property", which real property is proposed to be platted into six (6) residential lots.
2. The legal description of the property is:

Property Description (Trustee's Deed - Doc. No. 2395109.003): The Northwest 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25, Anoka County, Minnesota, EXCEPT the North 233 feet lying West of the East 946 feet thereof. AND That part of the Northeast 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25, lying West of the following described line: Commencing at a point on the North line of the said Northeast 1/4 of the Northwest 1/4 which point is 320 feet East of the Northwest corner thereof; thence South at right angles to said North line to the South line of said Northeast 1/4 of the Northwest 1/4; EXCEPT that part of the Northeast 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25 described as the East 200 feet of the West 320 feet of the North 440 feet as measured

along the North and West lines of the Northeast 1/4 of the Northwest 1/4 of said Section 21.

3. The Subject Property is zoned RRA – Rural Residential Agriculture District.
4. The Subject Property contains approximately 45.53 acres with direct access onto 205th Avenue NW.
5. The Developer has requested a preliminary plat so as to allow the Developer to plat the Subject Property into various lots as shown on a preliminary for a development entitled Petersen Acres, the most recent revision of said preliminary and plans prepared by Bogart, Pederson & Associates, Inc. and last updated February 15, 2024 (unless noted differently below) and containing the following sheets:
 - Preliminary Plat – February 29, 2024
 - Sheet C1 Site Plan
 - Sheet C2 Grading Plan
 - Sheet C3 Erosion Control
 - Sheet C4 Plan and Profile
 - Sheet C5 SWPPP Narrative
 - Sheet C6 Construction Details

(the “Site Plans”); and

6. The memo from the City Planner dated March 19, 2024 is incorporated herein by reference. The staff report from the City Planner dated March 20, 2024 is incorporated herein by reference.
7. The memo from the City Engineer dated March 20, 2024 is incorporated herein by reference.
8. The Planning Commission held a public hearing, preceded by a published and mailed notice, on March 26, 2024.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning and Zoning Commission recommends approval of the **preliminary plat for Petersen Acres** subject to the following conditions:

1. Outlot A is not buildable. It shall either be combined with Lot 1, Block 1; or shall be transferred to the adjacent property owner to the north. If transferred to the property owner to the north, the area shown as the outlot should be combined with the off-site property at the time of recording of the final plat.

2. A twenty (20) foot wide trail easement shall be required on the south side of 205th Avenue NW.
3. All public infrastructure including but not limited to water, sanitary sewer, stormwater, and roads shall either be dedicated or located within a drainage and utility easement.
4. All comments contained within the City Engineer memo from Hakanson Anderson dated March 20, 2024 and the memo from Collaborative Planning dated April 16, 2024 are incorporated herein (collectively referred to as the "Staff Memos").
5. The improvements to the Subject Property shall be constructed in substantial conformance with the Site Plans as revised to conform to the requirements of the Staff Memos.
6. If the updated Site Plans addressing the comments of the resolutions, Staff Memos, or outside agencies necessitate revisions to any of the lot lines or easements on the Subject Property, then those revisions shall be incorporated into the Final Plat submitted by the Developer. Compliance with these requirements may result in changes to or the removal of lots, outlots, easements, or right of way, in which case the Developer shall revise the Site Plans and Final Plat as necessary in conformance thereto. If an off-site easement is required to address a comment, then a separate easement document shall be provided to the City for review and approval prior to release of the Final Plat for recording.
7. To the extent that there are differences or conflicts between the Site Plans and this resolution, the terms of this resolution shall be controlling unless and until modified by a final plat resolution.
8. The timing of the construction of the infrastructure improvements on the Subject Property will be subject to the conditions of a Developer's Agreement between the City and the Developer.
9. A title commitment shall be provided for the review of the City Attorney before the final plat is released for recording.
10. Financial security in a form approved by the City Attorney and in an amount approved by the City Engineer must be provided by the Developer prior to release of the final plat for recording. The Developer's Agreement shall specify the amount of the financial security.
11. The Developer must reimburse the City for all costs incurred by the City and its consultants in relation to review of the proposed development plans as well as the preparation of the Developer's Agreement.
12. No wetlands may be impacted during construction of the homes. Buffers require that unmowed areas adjacent to wetlands are maintained with non-invasive vegetation for the purpose of filtering pollutants before they enter the wetland, reducing erosion, and minimizing human impacts.
13. Individual septic system design is required at the time of building permit application and shall be reviewed and approved by the Building Official.

14. Building permits shall be required for the new homes which requires submittal of a certificate of survey for individual lots, lowest floor elevations noted and custom grading/erosion control plans are subject to review of the City.
15. Any new utility lines installed to serve the Subject Property are required to be placed underground.
16. The Developer shall be responsible for securing necessary easements and for constructing all streets, utility, trail, stormwater, and other improvements shown on the Approved Construction Plans at their own expense. However, to the extent that such utilities are oversized at the request of the City, the City shall reimburse the Developer for the cost of the extra diameter of the pipe. All reimbursements by the City under this paragraph are subject to the submittal by the Developer of the engineer's estimate and other supporting information as requested by the City. The engineer's estimate will be reviewed by the City to verify that the costs requested for reimbursement are reasonable at the sole determination of the City, and the amount determined by the City to be eligible for reimbursement shall be included within the Developers Agreement.
17. The Subject Property shall be final platted in one phase. Prior to the release of the Final Plat for recording, a Developer's Agreement must be entered into which Agreement(s) will include, but not be limited to, the following:
 - a. Street and utility construction details, processes, plans, and financial guaranties.
 - b. Park dedication and other fee requirements.
 - c. All required approvals from other governmental agencies.
 - d. Final grading and drainage plans.
 - e. Maintenance requirements during construction.
 - f. Financial guaranties.
 - g. Other planning and engineering items, as appropriate.
18. The Developer shall be responsible for obtaining and complying with all necessary permits from any other governmental agencies.
19. The Developer shall incorporate the standards and procedures of the Minnesota Stormwater Manual for site restoration and erosion control measures during the construction process.
20. Park dedication shall be payment-in-lieu of land dedication. Park dedication fees shall be paid prior to release of the final plat for recording as per the City fee schedule in effect at the time of the execution of the Developer's Agreement.
21. The Developer shall survey all storm water holding ponds as required by the City. The Developer shall be responsible for storm sewer cleaning and pond dredging, as required by the City prior to completion of the development of the Subject Property.

22. The approval of the preliminary plat shall terminate if a final plat has not been applied for by May 14, 2025 unless an extension has been granted by the City Council as per Section 10-6-3 B. of the Subdivision Ordinance.
23. Additional conditions as determined necessary by the City Planner, City Engineer, and City Attorney as review of the project progresses and is completed.
24. The property owner is responsible for all costs associated with the processing of this request.

MOTION BY:

SECOND BY:

ALL IN FAVOR:

THOSE OPPOSED:

THOSE ABSENT:

Adopted by the Planning and Zoning Commission of the City of Nowthen on this 23rd day of April, 2024.

Chair Dale Ames

ATTEST:

Scott Lehner, City Administrator

Collaborative Planning, LLC

MEMORANDUM

To: Scott Lehner, City Administrator

From: Cindy Nash, City Planner

Date: April 16, 2024

Subj: Planning Review Comments – Petersen Acres

Information Available

- Preliminary plat of Petersen Acres dated February 27, 2024, prepared by Bogart, Pederson & Associates, Inc.
- Preliminary plans, dated February 15, 2024, prepared by Bogart, Pederson & Associates, Inc.

General

1. Outlot A is not buildable. It shall either be combined with Lot 1, Block 1; or shall be transferred to the adjacent property owner to the north. If transferred to the property owner to the north, the area shown as the outlot should be combined with the off-site property at the time of recording of the final plat. Consider adding the exception property to the final plat to facilitate the ease of recording that combination.
2. Provide an exhibit showing which part of each lot was utilized for calculating the information shown in the “Schedule of Buildable Area for Lots” table on the preliminary plat.
3. A 20’ wide trail easement shall be provided on the south side of 205th Avenue NW.
4. Lot 6 is proposed to be a flag lot and a conditional use permit for that lot has been applied for. Flag lots are only permitted upon the granting of a Conditional Use Permit. Either a Conditional Use Permit must be secured prior the submittal of a final plat application, or the plat should be reconfigured to remove the flag lot.
5. Signage approved by the City will need to be placed along lot lines or corners next to storm ponds, wetlands, and conservation areas.

6. Comments from the City Engineer will be provided in a separate memo.
7. The plans must be reviewed by the City's septic consultant.
8. A title commitment shall be provided with the application for final plat.

cc: Shane Nelson, HAA



**ENGINEERING REVIEW
for City of Nowthen
by
Hakanson Anderson**

Submitted to: City of Nowthen

cc: Scott Lehner, City Administrator
Cindy Nash, City Planner
Bob Ruppe, City Attorney
Gregory Petersen, Applicant
Craig Wensmann, Applicant's Surveyor/Engineer

Reviewed by: Shane Nelson, City Engineer

Date: March 20, 2024

**Proposed
Project:** Peterson Acres

Street Location: Nowthen Blvd NW and 205th Ave NW

Applicant: Gregory Petersen

Owner(s) of Record: Gregory Petersen

Jurisdictional Agencies: City of Nowthen, Anoka County, Upper Rum River
(but not limited to) Watershed Management Organization

Permits Required: City Approval, NPDES Construction Permit, WCA -
(but not limited to) Wetland Delineation Approval

INFORMATION AVAILABLE

Petersen Acres Preliminary Plat, dated February 27, 2024, prepared by Bogart, Pederson & Associates, Inc.

Peterson Court Design Preliminary Plans, dated February 2024, prepared by Bogart, Pederson & Associates, Inc.

Peterson Court Design Stormwater Management Report, dated February 27, 2024, prepared by Bogart, Pederson & Associates, Inc.

Wetland Delineation Report, dated December 5, 2023, prepared by Bogart, Pederson & Associates, Inc.

SITE ACCESS / VEHICULAR TRAFFIC

1. The project is proposed to receive direct access from 205th Avenue NW, which is an existing gravel road. The proposed "new road" is located approximately 900 feet from Nowthen Blvd NW. Consideration should be given whether or not this portion of 205th Avenue NW should be improved to a paved surface in conjunction with this proposed development.
2. Soil Borings are required (minimum of 3) in the location of the proposed road alignment to determine the suitability of the subgrade soils to support the proposed street. The soil borings shall be included in a geotechnical report which is certified by a licensed geotechnical engineer and shall include an estimated stabilometer R-value. Additionally, if 205th Avenue NW is proposed to be improved, soil borings shall also be provided along 205th Avenue NW.
3. Street naming shall be in accordance with the Anoka County grid system.

PRELIMINARY PLAT

1. In accordance with City Code, all lots must have a one (1) acre contiguous parcel at the proposed building site that meets the following characteristics: a minimum of twenty-three thousand (23,000) square feet of land area with a three (3) foot separation between the final surface elevation and mottled soil or highest known water table. The balance of the acre is to have at least a one (1) foot separation consisting of only existing natural soils (10-3-5.B). Please provide a buildability plan which shades or otherwise depicts the areas with 3 feet and 1 foot of separation to demonstrate compliance with the City Code.
2. All wetlands, wetland buffers, stormwater structures, conveyance systems, emergency over flows, cross lot drainage, and stormwater detentions basins must be within an easement that contains the entire 100-year high water level. Please show these easements on the preliminary plat.

3. Please provide a 10' drainage and utility easement along the road frontages and south lot line of Outlot A.

GRADING AND EROSION CONTROL

1. Please depict and label all existing culverts adjacent to the subject area.
2. The grading plan must be revised to depict fill where necessary such that 23,000 square feet of land area has three (3) feet of separation from mottled soils.

WETLANDS

1. A wetland delineation report has been received and a Notice of Decision for the wetland boundary and types was issued on February 26th of 2024.
2. It will be necessary to establish the wetland buffers with native grasses. The final plans shall include an establishment plan specifying an accepted MnDOT BWSE, NRCS, or SWCD seed mix that is appropriate for the area.
3. Wetland buffer monumentation shall be installed in accordance with the URRWMO standards.
4. This project proposes 882 square feet of wetland fill, which is subject to the review and approval of the regulatory agencies.

STORMWATER

1. A skimmer structure per the City of Nowthen Engineering Manual (Standard Plate No. 408 & 409) shall be added to the 15" RCP from the proposed retention pond before discharging stormwater into the wetland to the east. Please incorporate into the final plans.
2. The high water level elevation (HWL) for the proposed retention ponds is 934.85' while the top of the proposed ponds is 933.5' – therefore the ponds as designed will overtop the design location(s) of the pond(s). Please revise the ponds such that they are designed in accordance with Standard Plate No. 410 as included in the City of Nowthen Engineering Manual (such that a minimum of 1 foot of freeboard is provided between the HWL of the pond and the top of the berm).
3. Please clearly depict the outlet for Pond 3P (existing wetland) on the plans. It appears that there may be an existing road culvert on 205th Avenue NW?

4. Please clearly depict the outlet for Pond 7P (existing wetland) on the plans if it is located on the project site, or if it is located off the project site please describe it in the narrative. Note that these subwatersheds may be subject to the "landlocked" basin requirements if there is no positive outlet.

SEPTIC SITES

1. Suitability of septic sites to be reviewed by Building Official.

WATER SUPPLY

1. Individual wells are proposed to provide water supply to the proposed lots. Wells must meet the requirements of the Minnesota Department of Health and applicable state laws and regulations.

OTHER ITEMS

1. Final Plans shall be in accordance with the approved City of Nowthen standard details and Engineering Manual.
2. This project disturbs more than 1 acre and will require a NPDES Construction Stormwater Permit from the Minnesota Pollution Control Agency.
3. Zoning review is to be completed by the City Planner and provided under separate cover.

RECOMMENDATION

Overall, the general development pattern and lot layout seems conducive to the property. We recommend approval contingent upon the above comments being addressed.



To: Cindy Nash, Nowthen City Planner
8188 199th Ave NW
Elk River, MN 55330
Date: April 16, 2024
Re: Plat Review of Petersen Acres

On April 16th, Rum River Consultants conferred with Craig Wensmann of Bogart, Pederson & Associates, the surveyor responsible for the preliminary plat of Petersen Acres. We reviewed the soil observation information presented to us and confirmed that there are currently two viable sites for Type I Septic Systems per lot (areas containing at least 12” of vertical soil separation to the limiting layer, as required in MN Rule 7080).

After discussing what would be required in order to confirm the viability of this subdivision, it was determined that an onsite soil verification would also be necessary. This is currently planned to occur on Tuesday, April 23rd (weather conditions permitting). While onsite, we will confirm the depth to redoximorphic features (the limiting layer) described in the soil observations currently on record. This will be performed in any area that is believed to be at risk of not having the minimum required 12” of vertical soil separation.

Additionally, all proposed soil treatment areas will be examined to ensure that no soil compaction has occurred. It will also be confirmed that all primary and alternate soil treatment area sites have been properly protected (e.g. snow fence, warning tape, stakes, etc.) to ensure that no future soil compaction occurs that would render the site unsuitable for use as a drain field.

We will report back with any concerns after our site visit and soil observations.

Respectfully submitted

A handwritten signature in black ink that reads 'Andy Schreder'.

Andy Schreder

Chief Building Official
Rum River Consultants
23306 Cree St NW - Suite 103
St Francis, MN 55070

andy@rumrivercc.com
Office/Scheduling 763-331-7722

Preliminary Plat of PETERSEN ACRES

CITY OF NOWTHEN
ANOKA COUNTY, MN

Property Description (Trustee's Deed - Doc. No. 2395/02-001)
The Northwest 1/4 of the Northwest 1/4 of Section 21, Township 33, Range 25, Anoka County, Minnesota, EXCEPT the North 233 feet (plus West of the East 546 feet thereof).

- Survey Notes:**
- This survey was performed without the benefit of a title report. No search for encumbrances or restrictions was made by the surveyor. We warrant the right to update this survey upon receipt of the documentation.
 - Contours were created using MINOR NN/Topo (NAVD 83).
 - A vertical deflection was performed by Bogart, Pederson, DWSR Cart. No. 5428 of Bogart, Pederson & Associates, Inc. report dated 10/25/23.
 - Portions of field notes were digitized from AnokaCo. ChD 30 2020 aerial imagery and are for information purposes only.
 - Arbitrarily set along the east line of the subject property when comparing deed dimensions and found survey monuments. Corrective legal action may be necessary to create a property description that matches survey monuments and accurately describes the property to convey good title.

SOILS CHART

Map symbol & soil name	Hydrologic Water Table Depth (ft)
Hdt: Hyster fine sandy loam, 2 to 6 percent slopes	0 >80
ND: Neven sandy loam	B/D 8
Ssk: Soderstrom fine sand, 0 to 3 percent slopes	A/D 18
LW: Loamy wet land	B/D 0
Lt: Lake beach	A/D 12

* Data from USDA Web Soil Survey

SCHEDULE OF PREDIABLE AREAS FOR LOTS

Block/Lot	Total Lot Area (Ac)	1' Separation (Ac)	3' Separation (Sq Ft)
1 1	5.00	1.01	36,700
1 2	5.00	1.01	36,700
1 3	5.13	2.83	23,000
1 4	5.20	1.17	23,000
1 5	5.20	1.01	24,900
1 6	5.83	3.15	Existing Home
Outlet A	4.81	N/A	N/A

I hereby certify that a boundary survey has been completed for the preliminary plat of PETERSEN ACRES, Anoka County, MN.

Signed: *Craig Wenman*
Craig A. Wenman
Date: 2/27/24 Lic. No. 47466

Boundaries are based on the Anoka County coordinate system (NAD83 Block1). For the purpose of this plat, the North line of the Northwest Quarter is assumed to bear South 89 degrees 14 minutes 12 seconds East.

Denotes found iron monument
Denotes 1/4 inch x 1/4 inch iron monument with a plastic flag stamped R.L.C. 47466 to be set within one year of platting date
Denotes well iron monument
Denotes found cast iron monument
Denotes found PVC well
Denotes well well

REFERENCE BENCHMARK:
Spikes in SW side of maple tree 20 ft N. of East face of power pole on the N. side of 205th Ave. NW 2907.7 feet W by of the NW corner of the NE 1/4 of the NW 1/4. Deviation = 928.24 feet (NAVD 83)

PROJECT BENCHMARK:
Spikes in SW side of maple tree 20 ft N. of East face of power pole on the N. side of 205th Ave. NW 2907.7 feet W by of the NW corner of the NE 1/4 of the NW 1/4. Deviation = 928.24 feet (NAVD 83)

OWNER/DEVELOPER:
Gregory Peterson
2227 Jerie St. NW
Nowthen, MN 55330
(763) 867-8874

SURVEYORS & ENGINEERS:
Bogart, Pederson & Associates, Inc.
3076 First Street
Bosley, MN 55309-9222
763-202-8822

TOTAL AREA: 45,539. Acres

EXISTING ZONING: Rural Residential Agriculture (RRA)

PROPOSED ZONING: Rural Residential Agriculture (RRA)

MINIMUMS:
150' width
75' width (adj-to-deed)
5 acre lot size

DENOTES BUILDING SETBACKS:
20' from CSAM setback
100' from local rd. centerline
30' from
30' from
30' from adjacent wetland

Drainage and Utility Easements are shown as:

10' = 10' Easement
10' = 10' Easement

Being 10 feet in width and adjoining right-of-way lines, also being 10 feet in width on adjoining lot lines, unless otherwise indicated, as shown on the plat.

DATE: 1/27/24
FIELD DATE: December 5th, 2023
BK/PG: 2.10/pg. 40
DRAWN BY: CK
CHECKED BY: CAW/CEG
DWG FILE: 23-0420 Prelim
FILE NO: 23-0420-00

REVISIONS:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed: *Craig Wenman*
Craig A. Wenman
Date: 2/27/24 Lic. No. 47466

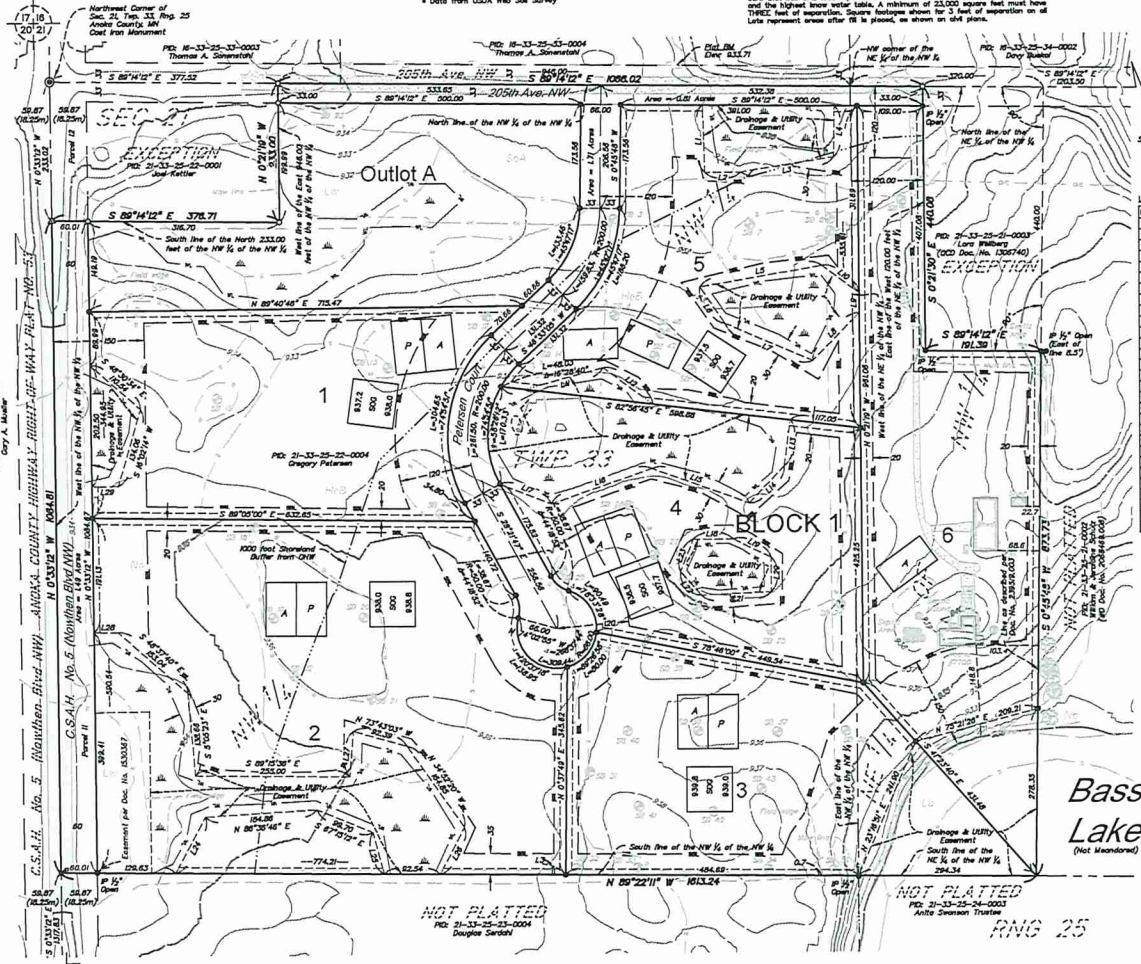
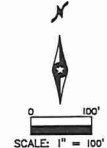
BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING & ENGINEERING
1075 205TH STREET, NW, BOSELEY, MN 55309-9222
TEL: 763-202-8822 FAX: 763-202-8844

PRELIMINARY PLAT

for
Greg Peterson
PETERSEN ACRES
City of Nowthen
Anoka County, MN

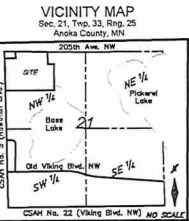
SOIL BORING LOG Matthew J. Blum - MPCA Cert. No. C4992

Soil Boring #	Depth	Method	Dist. of Modified Soil
Soil Boring 1	8.52	12"	833.4
Soil Boring 2	8.54	12"	833.4
Soil Boring 3	8.54	12"	833.3
Soil Boring 4	8.54	12"	833.2
Soil Boring 5	8.53	12"	833.3
Soil Boring 6	8.53	12"	833.3
Soil Boring 7	8.53	12"	833.2
Soil Boring 8	8.53	12"	833.3
Soil Boring 9	8.54	12"	833.3
Soil Boring 10	8.54	12"	833.3
Soil Boring 11	8.53	12"	833.6
Soil Boring 12	8.53	12"	833.9
Soil Boring 13	8.54	12"	833.7
Soil Boring 14	8.54	12"	833.5
Soil Boring 15	8.54	12"	833.8
Soil Boring 16	8.53	12"	834.0
Soil Boring 17	8.53	12"	834.3
Soil Boring 18	8.53	12"	834.0
Soil Boring 19	8.54	12"	834.0
Soil Boring 20	8.54	12"	834.0
Soil Boring 21	8.54	12"	834.7
Soil Boring 22	8.54	12"	834.0
Soil Boring 23	8.54	12"	833.5
Soil Boring 24	8.54	12"	834.7
Soil Boring 25	8.54	12"	834.2
Soil Boring 26	8.54	12"	834.0
Soil Boring 27	8.54	12"	833.9
Soil Boring 28	8.54	12"	833.9
Soil Boring 29	8.54	12"	834.9
Soil Boring 30	8.54	12"	834.4
Soil Boring 31	8.54	12"	834.4
Soil Boring 32	8.54	12"	833.3
Soil Boring 33	8.54	12"	834.5
Soil Boring 34	8.54	12"	834.9
Soil Boring 35	8.54	12"	834.0
Soil Boring 36	8.54	12"	834.2
Soil Boring 37	8.54	12"	834.4
Soil Boring 38	8.54	12"	834.9
Soil Boring 39	8.54	12"	833.5
Soil Boring 40	8.54	12"	834.2
Soil Boring 41	8.54	12"	834.4
Soil Boring 42	8.54	12"	834.4
Soil Boring 43	8.54	12"	834.4
Soil Boring 44	8.54	12"	834.2
Soil Boring 45	8.54	12"	833.5
Soil Boring 46	8.54	12"	833.1
Soil Boring 47	8.54	12"	833.1



LINE LABELS

Label	Bearing	Distance
L1	S 74°12'00" E	61.92
L2	N 90°00'00" E	68.56
L3	N 8°11'00" E	105.26
L4	N 7°45'00" E	65.40
L5	N 80°30'47" W	204.63
L6	S 34°18'25" E	73.40
L7	S 68°30'15" E	67.79
L8	N 44°27'31" E	103.29
L9	N 0°21'15" W	32.55
L10	S 32°03'30" E	76.56
L11	N 74°51'15" E	134.78
L12	S 5°13'15" E	109.71
L13	S 74°03'30" E	77.24
L14	S 42°50'33" W	84.81
L15	N 88°43'18" W	71.23
L16	S 72°43'00" W	178.88
L17	N 68°13'30" W	61.53
L18	S 90°00'00" E	88.00
L19	S 83°53'30" E	68.83
L20	S 0°00'00" E	67.20
L21	S 87°28'08" W	115.80
L22	N 40°37'05" E	62.54
L23	N 21°13'30" E	57.36
L24	N 28°11'18" E	105.37
L25	N 0°00'00" E	71.48
L26	N 27°21'03" E	67.83
L27	S 4°33'48" W	78.07
L28	S 80°30'00" E	58.87
L29	N 88°28'40" W	43.81



- LEGEND:**
- Denotes electrical cabinet
 - Denotes electric disconnect
 - Denotes asphalt monote
 - Denotes power pole
 - Denotes guy wire
 - Denotes telephone pedestal
 - Denotes electric meter
 - Denotes soil boring
 - Denotes light pole
 - Denotes well
 - Denotes of conditioning
 - Denotes propane tank
 - Denotes wetland
 - Denotes tree, deciduous
 - Denotes blumhous surface
 - Denotes concrete surface
 - Denotes gravel surface
 - Denotes barbed fence
 - Denotes overhead electric
 - Denotes easement
 - Denotes existing ad/jshure
 - Denotes well
 - Denotes building setback line
 - Denotes soil type boundary
 - Denotes ordinary high water (OHW) line
 - Denotes bubble area
 - Denotes soil classification type
 - Denotes proposed Primary & Alternate septic areas

TYPICAL HOUSE PAD

975.0	SUGGESTED GARAGE FLOOR ELEVATION
920.0	SUGGESTED BUILDING TYPE
982.0	SUGGESTED REAR PAD ELEVATION
300 -	DENOTES SLAB ON GRADE

BASS LAKE WATER LEVEL ELEV.
Natural Environment Lake ID: 02013500
Highest recorded: 828.17 ft (03/29/2004)
Lowest recorded: 826.17 ft (03/29/2004)
Ordinary High Water: 832.0 ft
Datum: NAVD83

BOGART, PEDERSON & ASSOCIATES, INC.

GREG PETERSON

PETERSON COURT DESIGN

CITY OF NOWTHEN, ANOKA COUNTY, MN

FEBRUARY, 2024

PRELIMINARY PLANS

SHEET INDEX:

SITE PLAN	C1
GRADING	C2
EROSION CONTROL	C3
PLAN & PROFILE	C4
SWPPP NARRATIVE	C5
CONSTRUCTION DETAILS	C6

CIVIL & SURVEY PLANS PREPARED BY:



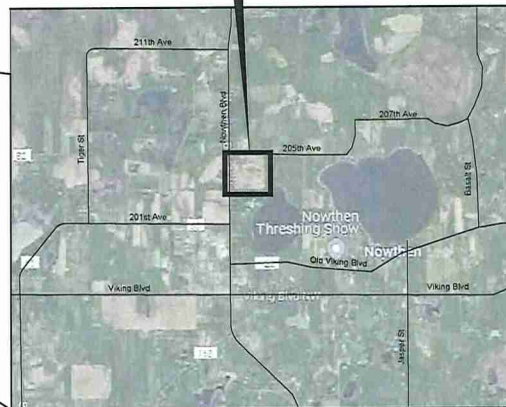
PLAT BENCHMARK:

RAILROAD SPIKE SET IN EAST FACE OF POWER POLE LOCATED ON NORTH SIDE OF 205TH AVE AND EAST OF PROPOSED ENTRANCE.
ELEVATION = 933.71' (NAVD 88)



ANOKA COUNTY, MINNESOTA

PROJECT LOCATION

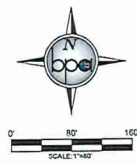
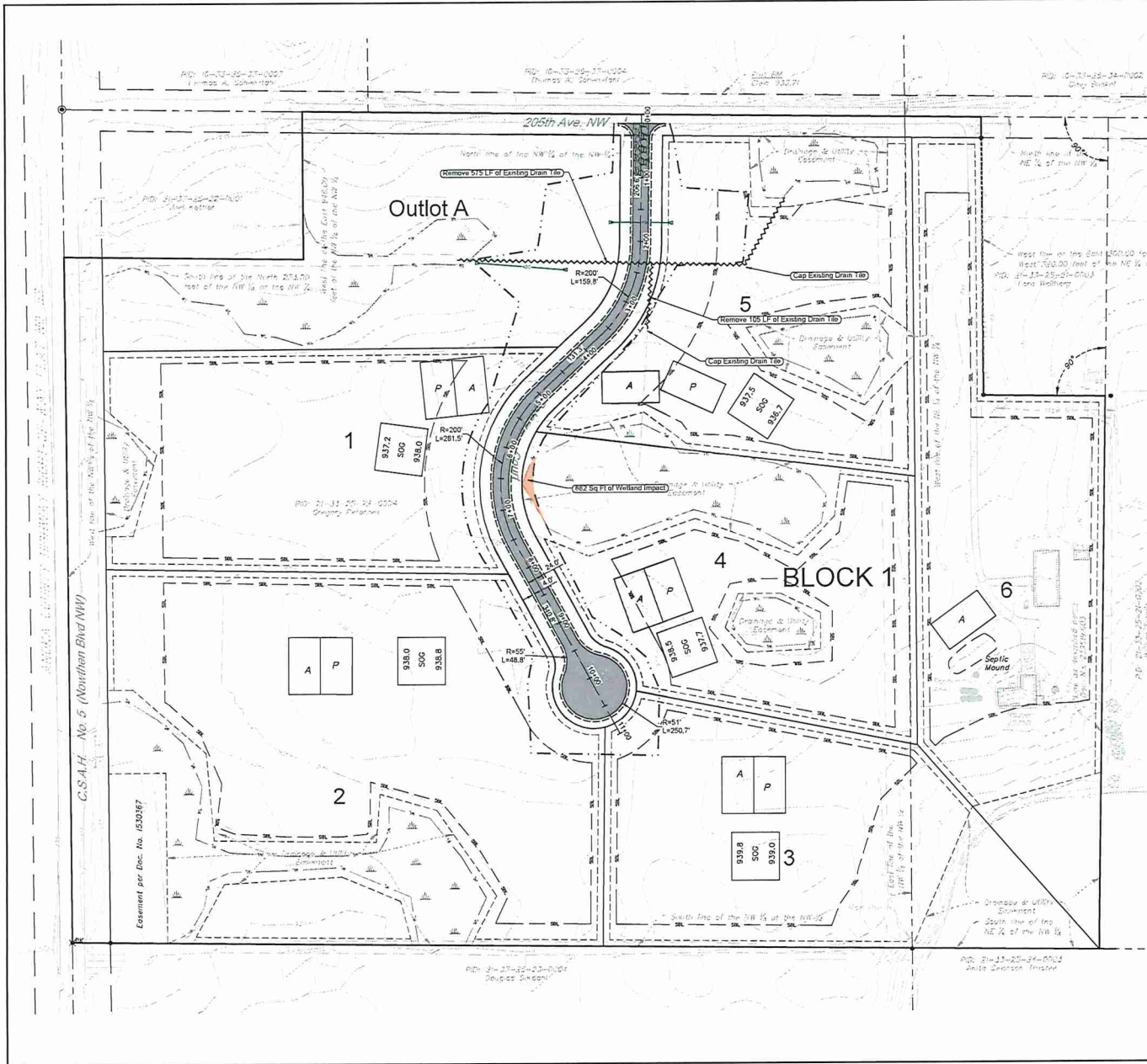


VICINITY MAP



REV NO.	DATE	DESCRIPTION

PRIVATE UTILITIES SHOWN ARE QUALITY LEVEL D.
QUALITY LEVEL D PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.



- LEGEND:**
- PROPOSED BITUMINOUS PAVEMENT
 - PROPOSED GRAVEL SHOULDERING
 - PROPOSED ROLLED EROSION PREVENTION
 - PROPOSED TURF ESTABLISHMENT
 - PROPOSED CONSTRUCTION LIMITS
 - PROPOSED SILT FENCE, TYPE MS
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED REMOVAL (AS INDICATED)
 - EXISTING DRAIN TILE
 - PROPOSED STORM SEWER
 - PROPOSED FLARED END SECTION

- SITE PLAN NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
 3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
 4. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
 5. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
 6. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGRILE, SHALL RECEIVE AT LEAST 2" OF TOPSOIL AND SHALL BE SEEDED OR SODDED. REFER TO THE EROSION CONTROL PLAN FOR SOO AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE MIXED WITH SEED MIX 25-151.
 7. WHERE NEW SOO MEETS EXISTING SOO, EXISTING SOO EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOO SURFACE TO BE FLUSH WITH EXISTING.

DESCRIPTION	
REV. NO.	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
DWG FILE	FILE NO.
DATE	FILE NO.

NOT FOR CONSTRUCTION



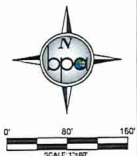
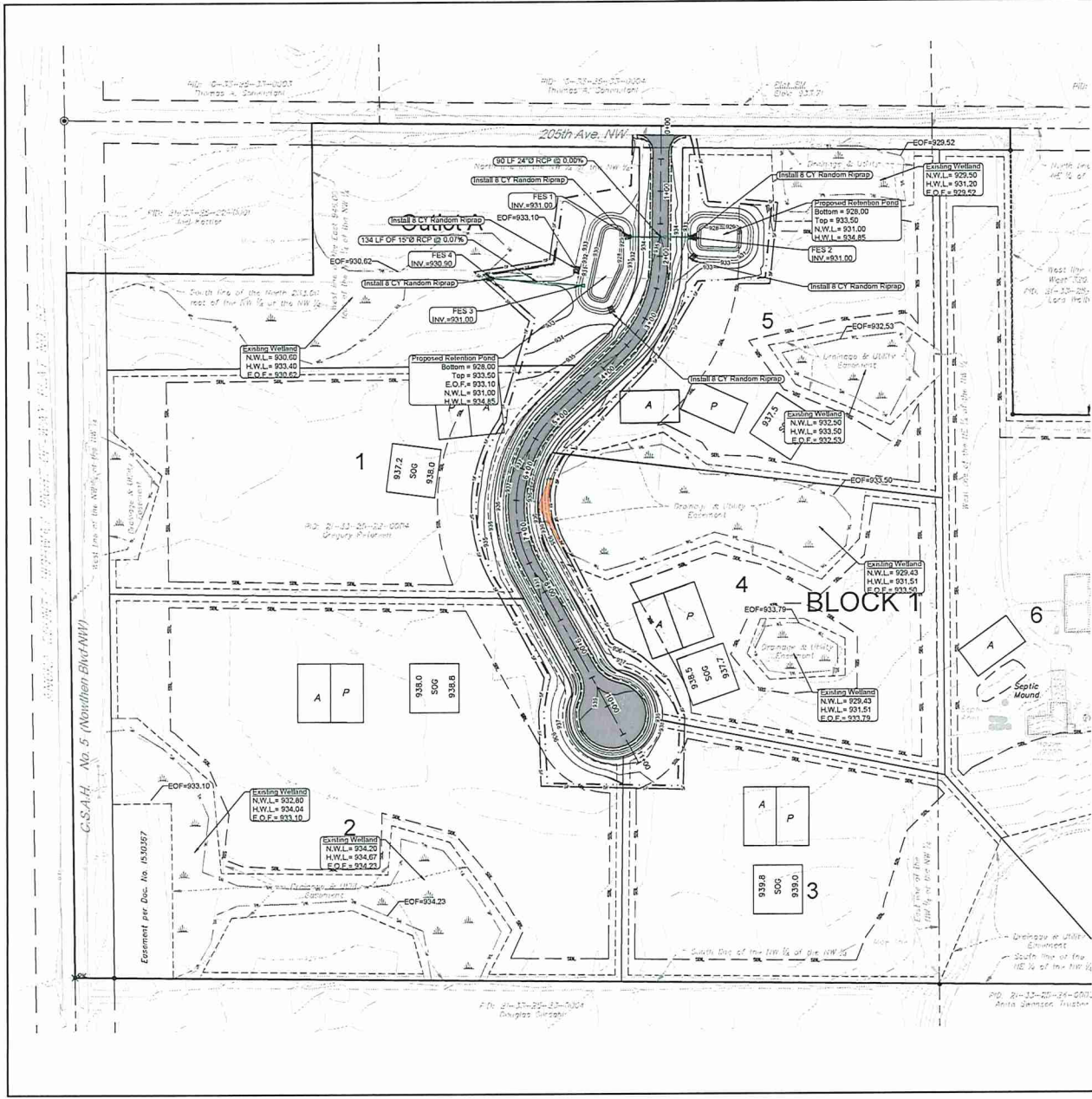
BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING & ENGINEERING SERVICES
1515 13th St SE, Suite 201
Fargo, ND 58103-2017
TEL: 701.785.3311 FAX: 701.785.3322

Peterson Court Design
for Greg Peterson
City of Nowthen, Anoka County, MN

SITE PLAN

SHEET NO.	C1
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CALL 48 HOURS BEFORE DIGGING.
GOPHER STATE ONE CALL
TWIN CITY AREA 651-454-0002
MINNESOTA TOLL FREE 1-800-252-1166

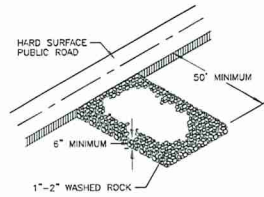


LEGEND:

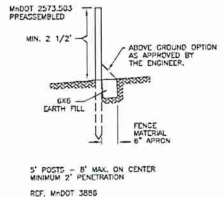
Y 982.50 EX	EXISTING ELEVATION
X 982.50 FO	NEW FINISHED GRADE ELEVATION
EOFF=982.50	PROPOSED EMERGENCY OVER FLOW ELEVATION
----- 1235	PROPOSED MAJOR CONTOUR
----- 1234	PROPOSED MINOR CONTOUR
----- 1235	EXISTING MAJOR CONTOUR
----- 1234	EXISTING MINOR CONTOUR
↘	PROPOSED SLOPE

- GRADING GENERAL NOTES:**
1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
 2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
 3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
 4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
 5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 1% SHALL BE HYDROSEEDED, EROSION CONTROL, BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
 6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
 7. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RESEED OR RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
 8. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAIN TILE, OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR)

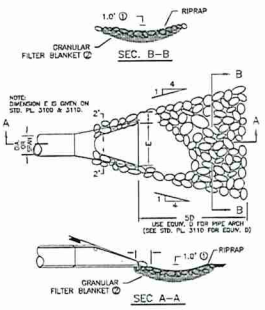
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DATE: 02/15/2024	DESIGN BY: MZM	CHECKED BY: GSE	DWG FILE: 20240309	FILE NO.:	
NOT FOR CONSTRUCTION					
 <p>BOGART, PEDERSON & ASSOCIATES, INC. CIVIL ENGINEERING ENVIRONMENTAL SERVICES 10000 UNIVERSITY AVENUE, SUITE 100 MINNETONKA, MN 55330-2144 TEL: 763.533.1325 FAX: 763.533.2444</p>					
<p>Peterson Court Design for Greg Peterson City of Nowthen, Anoka County, MN</p>					
GRADING					
SHEET NO.					
C3					



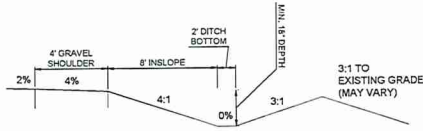
ROCK CONSTRUCTION ENTRANCE
NO SCALE



SILT FENCE
NO SCALE



RIP-RAP AT R.C.P. OUTLET
NO SCALE



TYPICAL DITCH SECTION
N.T.S.

DATE	REVISION	DESCRIPTION
08/20/20	1	ISSUE FOR CONSTRUCTION
DESIGNED BY	MAZ	
DRAWN BY	MAZ	
CHECKED BY	CJD	
DATE FILED	08/20/20	
FILE NO.	2420300	

NOT FOR CONSTRUCTION

BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
ENVIRONMENTAL SERVICES
1001 W. BELLEVUE BLVD., SUITE 100
MINNEAPOLIS, MN 55405-4911
TEL: 612.338.9922

Peterson Court Design
for Greg Peterson
City of Nowthen, Anoka County, MN

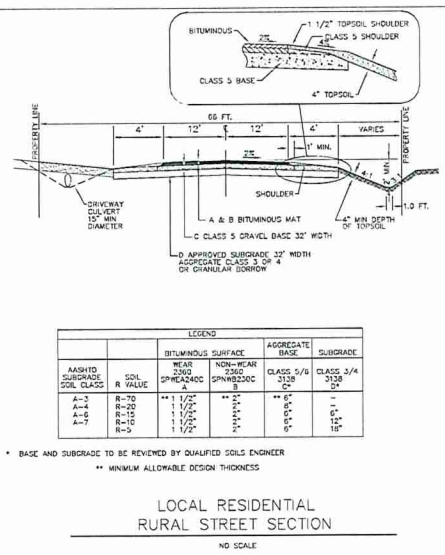
CONSTRUCTION DETAILS

SHEET NO. **C6**

APPROVED **City of Nowthen** STANDARD PLATE NO. 503

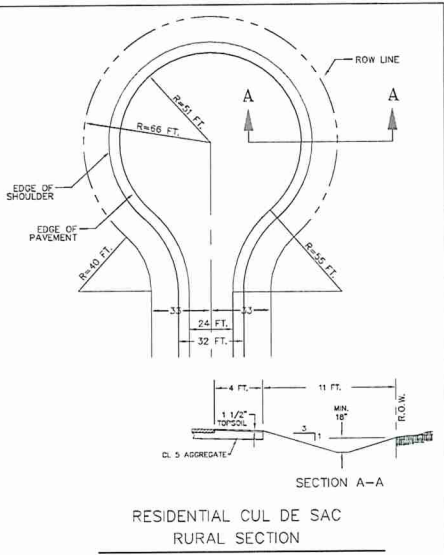
APPROVED **City of Nowthen** STANDARD PLATE NO. 502

APPROVED **City of Nowthen** STANDARD PLATE NO. 501



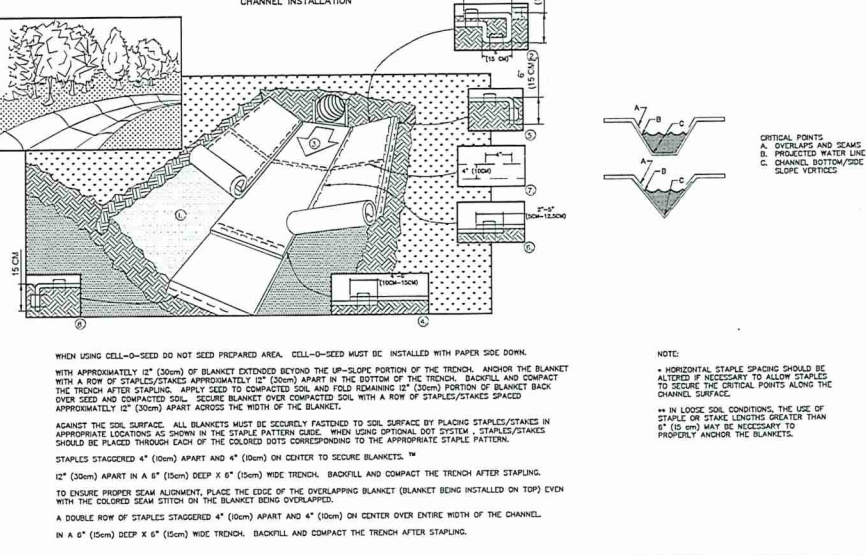
LEGEND		BITUMINOUS SURFACE		AGGREGATE BASE		SUBGRADE	
MASHED SURFACE SOIL CLASS	R VALUE	WEAR 2360 SPHCA240C A	NON-WEAR 2360 SPNWB230C B	CLASS 5/6 3130 C	CLASS 5/4 3130 D		
A-3	R-70	1 1/2"	2"	6"	-		
A-4	R-20	1 1/2"	2"	6"	12"		
A-5	R-12	1 1/2"	2"	6"	12"		
R-5	R-5	1 1/2"	2"	6"	15"		

LOCAL RESIDENTIAL RURAL STREET SECTION
NO SCALE



RESIDENTIAL CUL DE SAC RURAL SECTION

APPROVED **City of Nowthen** STANDARD PLATE NO. 105



CHANNEL INSTALLATION

WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH, ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.

AGAINST THE SOIL SURFACE, ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER TO SECURE BLANKETS.

12" (30cm) APART IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.

A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.

IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE:

- HORIZONTAL STAPLE SPACING SHOULD BE ADJUSTED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

APPROVED **City of Nowthen** STANDARD PLATE NO. 101

ROLLED EROSION PREVENTION (EROSION CONTROL BLANKET)
N.T.S.

Collaborative Planning, LLC

Memorandum

Date: April 16, 2024
To: Planning and Zoning Commission
From: Cindy Nash, City Planner
RE: Preliminary Plat – Nowthen Pastures

Description of Request

Dennis and Sue Leistico have submitted an application for a preliminary plat. The property consists of approximately 34 acres and is located west of Nowthen Blvd NW and south of Norris Lake Road NW.

The Developer is proposing to develop the site into three (3) lots, with direct access to the County roads for driveways.

The following items are included in the packet for review:

1. City Planner Comment Letter
2. City Engineer Comment Letter
3. Park and Trail Map
4. Preliminary Plat
5. Preliminary Plan Set
6. Draft PZ Findings

Item 1: Recommendation on Preliminary Plat

Public Hearing: April 23, 2024 Planning Commission

Preliminary plats provide the layout for lots and blocks for future sale and ownership of specific parcels. The preliminary plat is “preliminary”, however, approval of a preliminary plat gives the property rights by State law.

Land Use

The proposed land use is three (3) lots. Stormwater improvements are located within the lots and are required under state law when the impervious surfaces created will consist of at least 1.0 acres.

Access, Roads, Guest Parking, Pedestrian Circulation

No new streets are proposed to be constructed, and all lots are proposed to receive direct driveway access to existing County roads. The plat has been sent to the County for their comments.

Previous review of the plans determined that a potential road would be required on the west side of the plat. The applicants are proposing to remove the area where the road would have been needed and instead add that to the existing farmland to the west. Their intention is to preserve the corridor for the road without requiring any road construction at this time.

Lots

Lots 1 through 3 appear to meet the City’s ordinances requirements, subject to any comments in the City Planner or City Engineer comment memos.

Utilities

Ponding is located in lots and will have a Drainage & Utility easement over them. A stormwater maintenance agreement will be required.

All lots will be served by individual well and ISTS. Septic review is underway, and confirmation of whether the septic meet Minnesota Rules 7080 will be provided to the City Council.

Parks and Trails

Park dedication is required for this plat and will be calculated at the time of execution of the development agreement.

A potential trail is shown in the Comprehensive Plan’s Park and Trails Map (included in packet) adjacent to each of the County roads. The Subdivision Ordinance requires the dedication of trail

easements within or adjacent to all subdivisions. It is recommended that a twenty (20) foot wide trail easement be provided on each of these roads as proposed in the Comprehensive Plan.

Septic Systems

The Developer must address any comments related to review of proposed septic sites once that memo is received from the Building Official.

Engineering and Planning

The development should comply with the comments in the City Engineer and City Planner comment memos.











Recommendation

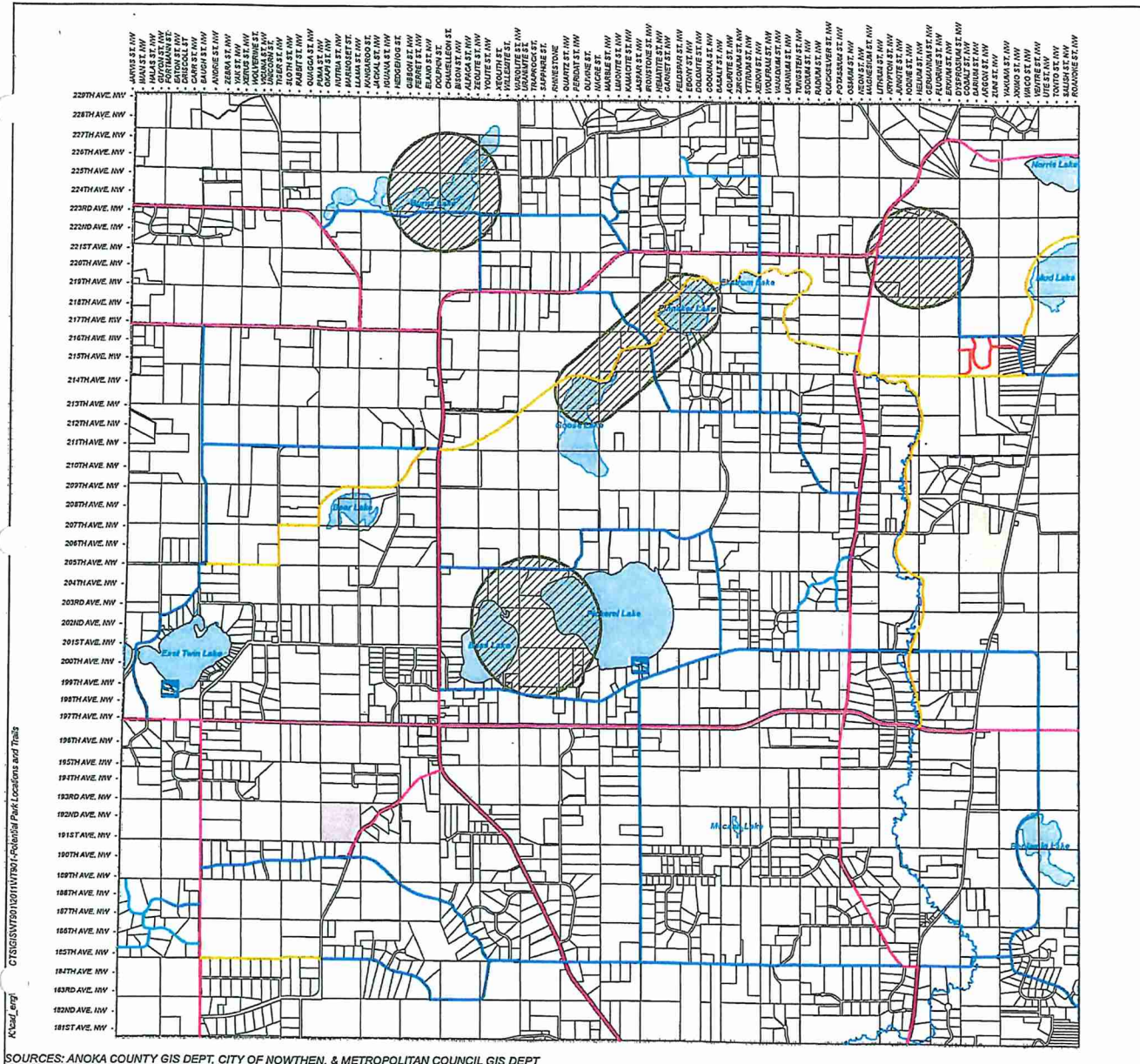
Staff recommends approval of the preliminary plat subject to the conditions found in the draft “Findings and Recommendations” document.

City of Nowthen

Potential Park Locations and Trail Corridors

LEGEND

-  City Park
-  Potential Park
-  Conservation Easement
-  Wildlife Management Area
-  Potential Trail Corridors along County Roads
-  Existing Trail Corridors along City Roads
-  Potential Trail Corridors along City Roads
-  Existing Natural Trail
-  Potential Natural Trails
-  Public Access Boat Launch



SOURCES: ANOKA COUNTY GIS DEPT, CITY OF NOWTHEN, & METROPOLITAN COUNCIL GIS DEPT

K:\data\map\GIS\GIS\1201171201\1201171201-Potential Park Locations and Trails

**CITY OF NOWTHEN
ANOKA COUNTY, MINNESOTA**

PLANNING AND ZONING COMMISSION

**FINDINGS AND RECOMMENDATION
Preliminary Plat for Nowthen Pastures**

APPLICANTS: Dennis and Sue Leistico
21453 Nowthen Blvd NW
Nowthen, MN 55330

APPLICATION: Request for approval of a Preliminary Plat for Nowthen Pastures

PLANNING AND ZONING COMMISSION MEETING: April 23, 2024

FINDINGS: Based upon review of the application and evidence received the Planning and Zoning Commission of the City of Nowthen now makes the following findings of fact:

1. Dennis and Sue Leistico are the fee owners of the real property as legally described in paragraph 2, herein after referred to as the "Subject Property", which real property is proposed to be platted into three (3) residential lots.
2. The legal description of the property is:

That part of the Northeast Quarter of the Southeast Quarter of Section 8, Township 33, Range 25, Anoka County, Minnesota lying easterly of the West 167.00 feet thereof.

EXCEPT

That part of said Southeast Quarter and of the Southwest Quarter of Section 9 of said township described as commencing at a point on the centerline of County State Aid Road No. 5 distant 760 feet North, measured along the centerline of said road, of the South line of the Southwest Quarter of Section 9, Township 33, Range 25, thence West parallel with the South line of said Southwest Quarter of Section 9 and the Southeast Quarter of Section 8 a distance of 225 feet; thence North parallel with

the East line of said Southeast Quarter a distance of 200 feet; thence West parallel with the South line of said Southeast Quarter of Section 8 a distance of 238 feet; thence North parallel with the East line of said Southeast Quarter a distance of 410 feet; thence East parallel with the South line of said Southeast Quarter to the centerline of said County State Aid Road No. 5; thence Southerly along the said centerline to the place of commencement.

3. The Subject Property is zoned RRA – Rural Residential Agriculture District.
4. The Subject Property contains approximately 34 acres with direct access onto Norris Lake Road NW and Nowthen Blvd NW.
5. The Developer has requested a preliminary plat so as to allow the Developer to plat the Subject Property into various lots as shown on a preliminary for a development entitled Petersen Acres, the most recent revision of said preliminary and plans prepared by Bogart, Pederson & Associates, Inc. and last updated March 19, 2024 (unless noted differently below) and containing the following sheets:

- Preliminary Plat
- Cover
- Sheet V1 Existing Conditions
- Sheet C1 Site Plan
- Sheet C2 Grading and Erosion Control Plan
- Sheet C3 SWPPP Narrative
- Sheet C4 – C5 Details

(the “Site Plans”); and

6. The memo from the City Planner dated April 16, 2024 is incorporated herein by reference. The staff report from the City Planner dated April 16, 2024 is incorporated herein by reference.
7. The memo from the City Engineer dated April 16, 2024 is incorporated herein by reference.
8. The Planning Commission held a public hearing, preceded by a published and mailed notice on April 23, 2024.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning and Zoning Commission recommends approval of the **preliminary plat for Nowthen Pastures** subject to the following conditions:

1. A twenty (20) foot wide trail easement shall be required on the west side of Nowthen Blvd NW and the south side of Norris Lake Road NW.
2. All public infrastructure including but not limited to water, sanitary sewer, stormwater, and roads shall either be dedicated or located within a drainage and utility easement.
3. All comments contained within the City Engineer memo from Hakanson Anderson dated April 16, 2024 and the memo from Collaborative Planning dated April 16, 2024 are incorporated herein (collectively referred to as the "Staff Memos").
4. The improvements to the Subject Property shall be constructed in substantial conformance with the Site Plans as revised to conform to the requirements of the Staff Memos.
5. If the updated Site Plans addressing the comments of the resolutions, Staff Memos, or outside agencies necessitate revisions to any of the lot lines or easements on the Subject Property, then those revisions shall be incorporated into the Final Plat submitted by the Developer. Compliance with these requirements may result in changes to or the removal of lots, outlots, easements, or right of way, in which case the Developer shall revise the Site Plans and Final Plat as necessary in conformance thereto. If an off-site easement is required to address a comment, then a separate easement document shall be provided to the City for review and approval prior to release of the Final Plat for recording.
6. To the extent that there are differences or conflicts between the Site Plans and this resolution, the terms of this resolution shall be controlling unless and until modified by a final plat resolution.
7. The timing of the construction of the infrastructure improvements on the Subject Property will be subject to the conditions of a Developer's Agreement between the City and the Developer.
8. A title commitment shall be provided for the review of the City Attorney before the final plat is released for recording.
9. Financial security in a form approved by the City Attorney and in an amount approved by the City Engineer must be provided by the Developer prior to release of the final plat for recording. The Developer's Agreement shall specify the amount of the financial security.
10. The Developer must reimburse the City for all costs incurred by the City and its consultants in relation to review of the proposed development plans as well as the preparation of the Developer's Agreement.
11. No wetlands may be impacted during construction of the homes. Buffers require that unmowed areas adjacent to wetlands are maintained with non-invasive vegetation for the purpose of filtering pollutants before they enter the wetland, reducing erosion, and minimizing human impacts.
12. Individual septic system design is required at the time of building permit application and shall be reviewed and approved by the Building Official.

13. Building permits shall be required for the new homes which requires submittal of a certificate of survey for individual lots, lowest floor elevations noted and custom grading/erosion control plans are subject to review of the City.
14. Any new utility lines installed to serve the Subject Property are required to be placed underground.
15. The Developer shall be responsible for securing necessary easements and for constructing all streets, utility, trail, stormwater, and other improvements shown on the Approved Construction Plans at their own expense. However, to the extent that such utilities are oversized at the request of the City, the City shall reimburse the Developer for the cost of the extra diameter of the pipe. All reimbursements by the City under this paragraph are subject to the submittal by the Developer of the engineer's estimate and other supporting information as requested by the City. The engineer's estimate will be reviewed by the City to verify that the costs requested for reimbursement are reasonable at the sole determination of the City, and the amount determined by the City to be eligible for reimbursement shall be included within the Developers Agreement.
16. The Subject Property shall be final platted in one phase. Prior to the release of the Final Plat for recording, a Developer's Agreement must be entered into which Agreement(s) will include, but not be limited to, the following:
 - a. Street and utility construction details, processes, plans, and financial guaranties.
 - b. Park dedication and other fee requirements.
 - c. All required approvals from other governmental agencies.
 - d. Final grading and drainage plans.
 - e. Maintenance requirements during construction.
 - f. Financial guaranties.
 - g. Other planning and engineering items, as appropriate.
17. The Developer shall be responsible for obtaining and complying with all necessary permits from any other governmental agencies.
18. The Developer shall incorporate the standards and procedures of the Minnesota Stormwater Manual for site restoration and erosion control measures during the construction process.
19. Park dedication shall be payment-in-lieu of land dedication. Park dedication fees shall be paid prior to release of the final plat for recording as per the City fee schedule in effect at the time of the execution of the Developer's Agreement.
20. The Developer shall survey all storm water holding ponds as required by the City. The Developer shall be responsible for storm sewer cleaning and pond dredging, as required by the City prior to completion of the development of the Subject Property.

21. The approval of the preliminary plat shall terminate if a final plat has not been applied for by May 14, 2025 unless an extension has been granted by the City Council as per Section 10-6-3 B. of the Subdivision Ordinance.
22. Additional conditions as determined necessary by the City Planner, City Engineer, and City Attorney as review of the project progresses and is completed.
23. The property owner is responsible for all costs associated with the processing of this request.

MOTION BY:

SECOND BY:

ALL IN FAVOR:

THOSE OPPOSED:

THOSE ABSENT:

Adopted by the Planning and Zoning Commission of the City of Nowthen on this 23rd day of April, 2024.

Chair Dale Ames

ATTEST:

Scott Lehner, City Administrator

Collaborative Planning, LLC

MEMORANDUM

To: Scott Lehner, City Administrator

From: Cindy Nash, City Planner

Date: April 16, 2024

Subj: Planning Review Comments – Nowthen Pastures

Information Available

- Preliminary plat of Petersen Acres dated March 19, 2024, prepared by Bogart, Pederson & Associates, Inc.
- Preliminary plans, dated March 19, 2024, prepared by Bogart, Pederson & Associates, Inc.

General

1. A 20' wide trail easement shall be provided on the south side of Norris Lake Road NW and the west side of Nowthen Blvd NW.
2. Signage approved by the City will need to be placed along lot lines or corners next to storm ponds, wetlands, and conservation areas.
3. Comments from the City Engineer will be provided in a separate memo.
4. The plans must be reviewed by the City's septic consultant.
5. A title commitment shall be provided with the application for final plat.

cc: Shane Nelson, HAA



**ENGINEERING REVIEW
for City of Nowthen
by
Hakanson Anderson**

Submitted to: City of Nowthen

cc: Scott Lehner, City Administrator
Cindy Nash, City Planner
Bob Ruppe, City Attorney
Sue Leistico, Applicant
Chris Dahn, Applicant's Engineer

Reviewed by: Shane Nelson, City Engineer

Date: April 16, 2024

**Proposed
Project:** Nowthen Pastures

Street Location: SE Corner of Norris Lake Road and Nowthen Blvd

Applicant: Susan Leistico

Owners of Record: Leistico Farms, LLC

Jurisdictional Agencies: City of Nowthen, Anoka County, Upper Rum River
(but not limited to) Watershed Management Organization

Permits Required: City Approval, NPDES Construction Permit, WCA -
(but not limited to) Wetland Delineation Approval

INFORMATION AVAILABLE

Nowthen Pastures Preliminary Plat, dated March 19, 2024, prepared by Bogart, Pederson & Associates, Inc.

Nowthen Pastures Preliminary Plans, dated March 19, 2024, prepared by Bogart, Pederson & Associates, Inc.

Nowthen Pastures Stormwater Management Report, dated March 19, 2024, prepared by Bogart, Pederson & Associates, Inc.

Leistico Farms, LLC Wetland Delineation report, dated June 12, 2023, prepared by Bogart, Pederson & Associates, Inc.

SITE ACCESS / VEHICULAR TRAFFIC

1. The project is proposed to receive access from Norris Lake Road (CSAH 24) and Nowthen Blvd (CSAH 5). This project does not propose to construct new public streets. The proposed driveways will be subject to the review and approval of the Anoka County Highway Department.

PRELIMINARY PLAT

1. In accordance with City Code, all lots must have a one (1) acre contiguous parcel at the proposed building site that meets the following characteristics: a minimum of twenty-three thousand (23,000) square feet of land area with a three (3) foot separation between the final surface elevation and mottled soil or highest known water table. The balance of the acre is to have at least a one (1) foot separation consisting of only existing natural soils (10-3-5.B). Please provide Soil Boring information for Lot 3 to demonstrate compliance with the City Code.
2. The drainage and utility easement shall encompass the required wetland buffer area.
3. The stormwater infiltration basins, if necessary, are required to be located within a drainage and utility easement.

STORMWATER MANAGEMENT

1. The stormwater is proposed to be managed by the construction of three new infiltration basins – one on each lot. These new infiltration basins will not receive any public stormwater runoff, and therefore, it will be necessary for them to be privately maintained. The infiltration basins are proposed adjacent to the proposed building sites, however, given the size of the lots it is likely that individual lot owners could choose to construct their houses at alternate locations. The State issued NPDES Construction Permit requires volume control

when the new impervious surface is greater than 1 acre. This project creates 1.01 acres of new impervious surface per the SWPPP.

2. If possible, we would recommend that the applicant consider combining the stormwater infiltration basins to reduce the number required.
3. The Applicants will be required to enter into a Stormwater Maintenance Agreement to ensure the long-term operation and maintenance for any privately owned and maintained stormwater basins created with this project.
4. The existing 36" culvert located under Norris Lake Road shall be included in the stormwater model for both the existing and proposed conditions.

WETLANDS

1. A wetland delineation report has been received and a Notice of Decision for the wetland boundary and types was issued on July 17, 2023. The decision is valid for five (5) years.
2. In accordance with Section 11-4-20 of the City Code, a wetland buffer consisting of an unmowed strip of land established with native vegetation is required adjacent to the delineated wetland. A wetland buffer establishment plan shall be submitted with the final plat application.
3. Wetland buffer monumentation shall be installed per City requirements and to URRWMO standards. A wetland buffer monumentation plan shall be submitted with the final plat application.

SEPTIC SITES

1. Suitability of septic sites to be reviewed by Building Official.

WATER SUPPLY

1. Individual wells are proposed to provide water supply to the proposed lots. Wells must meet the requirements of the Minnesota Department of Health and applicable state laws and regulations.

OTHER ITEMS

1. This project disturbs more than 1 acre and will require a NPDES Construction Stormwater Permit from the Minnesota Pollution Control Agency.
2. Zoning review is to be completed by the City Planner and provided under separate cover.

RECOMMENDATION

We recommend approval contingent upon the above comments being addressed.

Preliminary Plat of NOWTHEN PASTURES

CITY OF NOWTHEN
ANOKA COUNTY, MN

Boundaries are based on the Anoka County coordinate system (NAD83 datum). For the purposes of this plat, the East-West Quarter line is assumed to be North 20 degrees 04 minutes 21 seconds West.

- Denotes iron monument
- Denotes 1/2 inch x 1/4 inch iron monument with a plastic plug stamped B.L.C. 47468 to be set within one year of platting date
- Denotes 1/2 inch x 1/4 inch iron monument set with a plastic plug stamped B.L.C. 47468
- Denotes east iron monument

REFERENCE BENCHMARK:
Anoka County Benchmark No. 3083
Elevation = 536.25 feet (NAVD 88)

PROJECT BENCHMARK:
East Iron Monument at the East Quarter Corner of Sec. 8, Twp. 33, Rng. 25, Anoka County, Minnesota.
Elevation = 942.02 feet (NAVD 88)

OWNER/DEVELOPER:
Leisto Farms, LLC
21453 Nowthen Blvd NW
Dk. River, MN 55355

SURVEYORS & ENGINEERS:
Bogart, Pederson & Associates, Inc.
13078 First Street
Baker, MN 55308-0322
763-262-8822

TOTAL AREA: 34.02% Acre

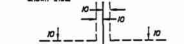
EXISTING ZONING: RRA (Rural Residential Agricultural District)

PROPOSED ZONING: RRA (Rural Residential Agricultural District)

MINIMUMS:
10' Front
30' Side
20' Setback
* Corner lots shall have two front setbacks and 2 side setbacks

DENOTES BUILDING SETBACKS:
10' Front
30' Side
20' Setback
* Corner lots shall have two front setbacks and 2 side setbacks

Drainage and Utility Easements are shown on this plat.



NOT TO SCALE

Setback 10 feet in width and adjoining right of way lines and adjoining lot lines of adjacent lots, unless otherwise indicated, as shown on the plat.

DATE: 8/21/23
FIELD DATE: August 18th, 2023
BK/PC: 2.10/Pg. 19
DRAWN BY: CK
CHECKED BY: CAW/CEC
DWG FILE: 23-0195 Prelim
FILE NO: 23-0195.00

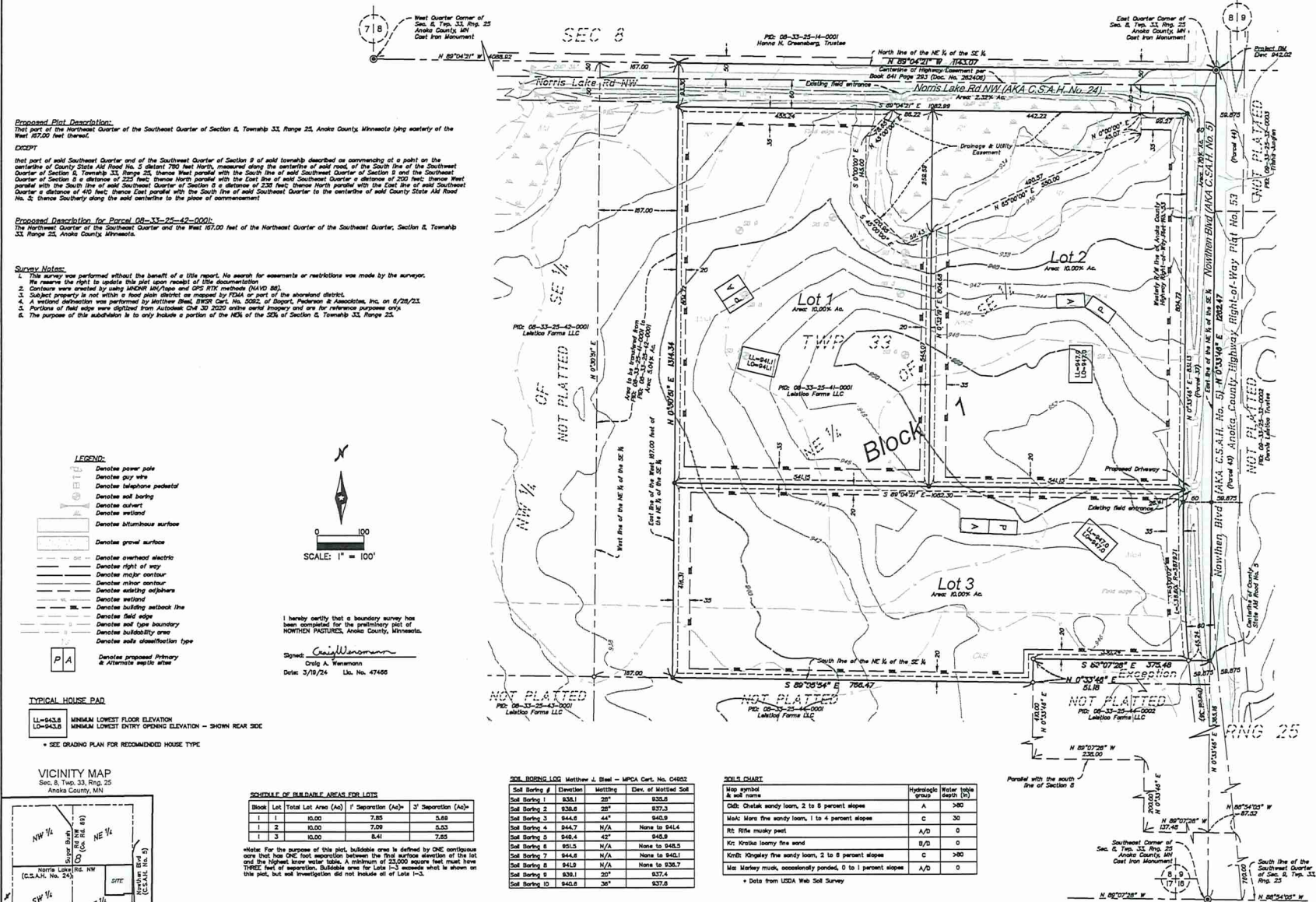
REVISIONS:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed: Craig A. Vennerson
Date: 3/19/24 U.L. No. 47465

BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
ENGINEERING
3075 FIRST STREET, BAKER, MN 55309-2102
TEL: 763-262-8822 FAX: 763-262-8828

PRELIMINARY PLAT
for
Leisto Farms, LLC
NOWTHEN PASTURES
City of Nowthen
Anoka County, MN



Proposed Plat Description:
That part of the Northeast Quarter of the Southwest Quarter of Section 8, Township 33, Range 25, Anoka County, Minnesota (by easterly of the West 87.00 feet thereof).

that part of said Southwest Quarter and of the Southwest Quarter of Section 9 of said township described as commencing at a point on the centerline of County State A&R Road No. 3 distant 780 feet North, measured along the centerline of said road, of the South line of the Southwest Quarter of Section 8, Township 33, Range 25, thence West parallel with the South line of said Southwest Quarter of Section 8 and the Southwest Quarter of Section 9 a distance of 323 feet; thence North parallel with the East line of said Southwest Quarter a distance of 320 feet; thence West parallel with the South line of said Southwest Quarter of Section 8 a distance of 323 feet; thence North parallel with the East line of said Southwest Quarter a distance of 410 feet; thence East parallel with the South line of said Southwest Quarter to the centerline of said County State A&R Road No. 3; thence Southwesterly along the said centerline to the place of commencement.

Proposed Description for Parcel 08-33-25-42-0001:
The Northeast Quarter of the Southwest Quarter and the West 87.00 feet of the Northeast Quarter of the Southwest Quarter, Section 8, Township 33, Range 25, Anoka County, Minnesota.

- Survey Notes:**
- This survey was performed without the benefit of a title report. No search for easements or restrictions was made by the surveyor. We reserve the right to update this plat upon receipt of title documentation.
 - Contours were created by using ANOKA 100/100 and GPS RTK methods (NAVD 88).
 - Subject property is not within a flood plain district as imposed by FEMA or part of the floodplain district.
 - A wetland delineation was performed by Matthew Black, DWRP Cert. No. 0052, of Bogart, Pederson & Associates, Inc. on 8/28/23.
 - Portions of field edges were digitized from Autodesk Civil 3D 2020 aerial imagery and are for reference purposes only.
 - The purpose of this subdivision is to only include a portion of the NE 1/4 of the SW 1/4 of Section 8, Township 33, Range 25.

LEGEND:

- Denotes power pole
- Denotes pay wire
- Denotes telephone pedestal
- Denotes soil boring
- Denotes culvert
- Denotes wetland
- Denotes intermittent surface
- Denotes gravel surface
- Denotes overhead electric
- Denotes right of way
- Denotes major contour
- Denotes minor contour
- Denotes existing outfalls
- Denotes wetland
- Denotes building setback line
- Denotes field edge
- Denotes soil type boundary
- Denotes subsoil type
- Denotes soils classification type
- Denotes proposed Primary & Aesthetic water area

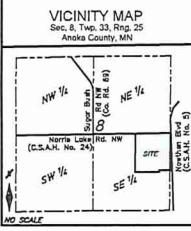
I hereby certify that a boundary survey has been completed for the preliminary plat of NOWTHEN PASTURES, Anoka County, Minnesota.

Signed: Craig A. Vennerson
Date: 3/19/24 U.L. No. 47465

TYPICAL HOUSE PAD

LL=843.8	MINIMUM LOWEST FLOOR ELEVATION
LD=843.8	MINIMUM LOWEST ENTRY OPENING ELEVATION - SHOWS REAR SLOPE

* SEE GRADING PLAN FOR RECOMMENDED HOUSE TYPE



SOIL BORING LOG Matthew J. Bial - MPCA Cert. No. 04802

Soil Boring #	Elevation	Moisture	Desc. of Moistest Soil
Soil Boring 1	838.1	20"	837.5
Soil Boring 2	838.8	20"	837.3
Soil Boring 3	844.8	44"	843.9
Soil Boring 4	844.7	N/A	None to 841.4
Soil Boring 5	848.4	42"	845.9
Soil Boring 6	851.5	N/A	None to 848.5
Soil Boring 7	844.8	N/A	None to 843.1
Soil Boring 8	841.5	N/A	None to 838.7
Soil Boring 9	838.1	20"	837.4
Soil Boring 10	840.8	38"	837.8

SOILS CHART

Map symbol & soil name	Hydrologic group	Water table depth (ft)
CdC: Chataok sandy loam, 2 to 8 percent slopes	A	>80
MdK: More fine sandy loam, 1 to 4 percent slopes	C	30
Rt: Rita musky peat	A/D	0
Kr: Kristine loamy fine sand	B/D	0
KmB: Kingley fine sandy loam, 2 to 8 percent slopes	C	>80
Mm: Marley muck, occasionally ponded, 0 to 1 percent slopes	A/D	0

* Data from USDA Web Soil Survey

SCHEDULE OF BUILDABLE AREAS FOR LOTS

Block	Lot	Total Lot Area (Ac)	1' Separation (Ac)	3' Separation (Ac)
1	1	10.00	7.85	5.88
1	2	10.00	7.99	5.93
1	3	10.00	8.41	7.55

Note: For the purposes of this plat, buildable area is defined by ONE contiguous area that has ONE foot separation between the first surface elevation of the lot and the highest area of water table. A minimum of 21,000 square feet must have THREE feet of separation. Buildable area for Lots 1-3 exceeds what is shown on this plat, but soil investigation did not include all of Lots 1-3.

LEISTICO FARMS, LLC NOWTHEN PASTURES

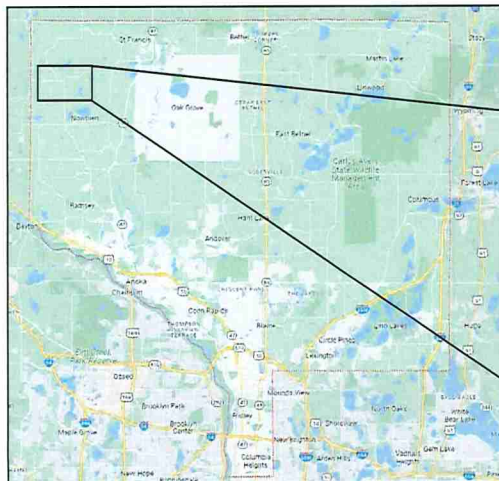
NORRIS LAKE RD NW & NOWTHEN BLVD NW CITY OF NOWTHEN, ANOKA COUNTY, MN

MARCH 2024

CIVIL & SURVEY PLANS PREPARED BY:



CIVIL PLANS	
Sheet Number	Sheet Title
-	Cover
V1	Existing Conditions
C1	Site Plan
C2	Grading & Erosion Control Plan
C3	SWPPP Narrative
C4	Details
C5	Details



ANOKA COUNTY, MINNESOTA

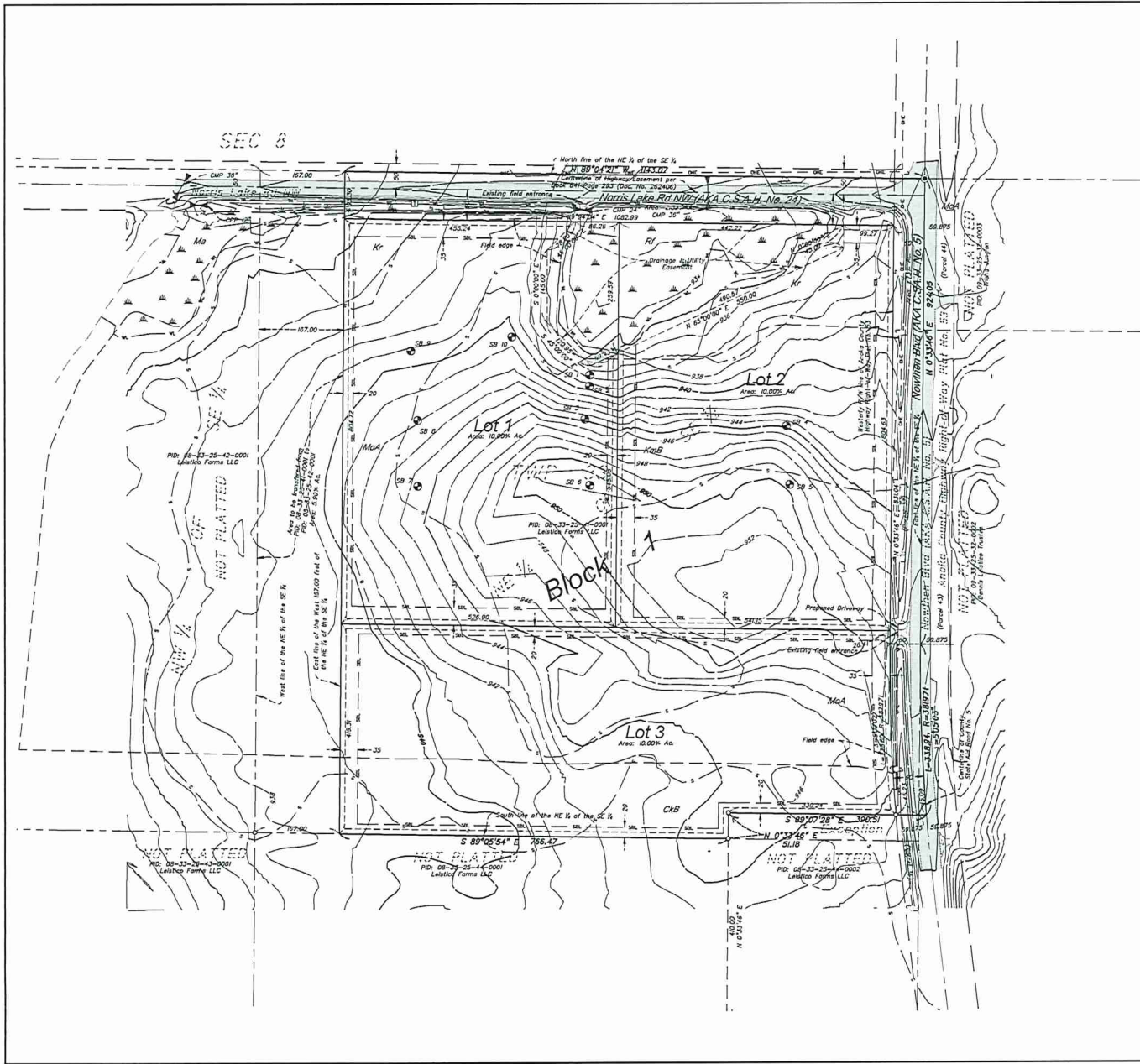
PROJECT LOCATION



VICINITY MAP

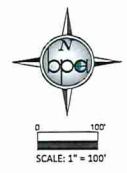
REV NO.	DATE	DESCRIPTION

PRIVATE UTILITIES SHOWN ARE QUALITY LEVEL D.
QUALITY LEVEL D PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.



LEGEND:

- Denotes power pole
- Denotes pay wire
- Denotes insulator post
- Denotes roof
- Denotes culvert
- Denotes wetland
- Denotes bareness surface
- Denotes gravel surface
- Denotes overhead electric line
- Denotes right of way
- Denotes minor contour
- Denotes major contour
- Denotes existing adjoiner
- Denotes wetland
- Denotes building setback line
- Denotes field edge
- Denotes soil type boundary
- Denotes suitability area
- Denotes soil classification type
- Denotes proposed Primary & Alternate waste sites



PLAN REFERENCE

1. NOWTHEN PASTURES ANDKA COUNTY, MN PREPARED BY BOGART, PEDERSON & ASSOCIATES, INC. DATED 9/19/2023

REV. NO.	DATE	DESCRIPTION

DATE: 09/19/2023	DATE: 09/19/2023
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DRAWN BY: [Signature]	DATE FILED: 09/19/2023
FILE NO.: 23010233	

NOT FOR CONSTRUCTION

 BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING ENVIRONMENTAL SERVICES 1611 15th Street SW, Grand Rapids, MN 55741 TEL: 763-325-8121 FAX: 763-325-2144
--

LEISTICO FARMS, LLC NOWTHEN PASTURES City of Nowthen, Anoka County, MN EXISTING CONDITIONS

SHEET NO.	V1
-----------	-----------

SEC 8

Norris Lake Rd NW

Norris Lake Rd NW (AKA C.S.A.H. No. 24)
Area: 2.32% Ac.

Nowthen Blvd (AKA C.S.A.H. No. 5)
Area: 1.73% Ac.

Nowthen Blvd (AKA C.S.A.H. No. 5)
Anoka County Highway Right-of-Way Plat No. 53

PID: 09-33-25-32-0003
Irina Songem

PID: 09-33-25-32-0002
Dennis Leistico Trustee

PID: 08-33-25-42-0001
Leistico Farms LLC

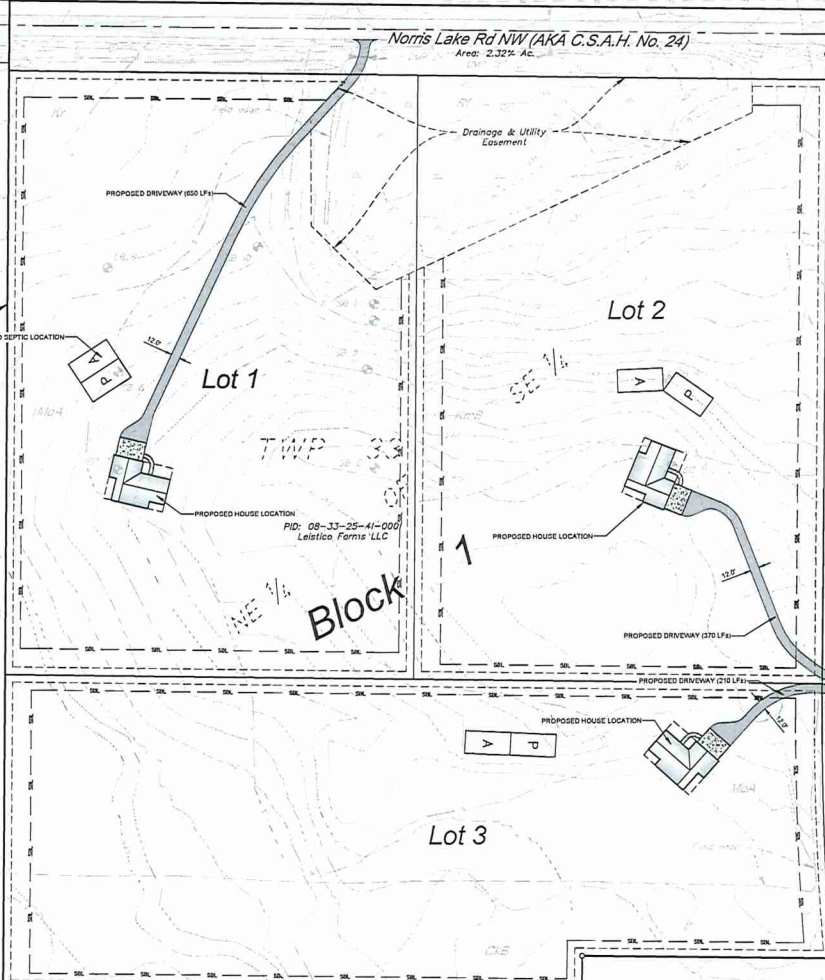
PID: 08-33-25-41-0001
Leistico Farms LLC

PID: 08-33-25-44-0002
Leistico Farms LLC




PID: 08-33-25-43-0001
Leistico Farms LLC

PID: 08-33-25-44-0001
Leistico Farms LLC

Area to be transferred from
PID: 08-33-25-41-0001 to
PID: 08-33-25-42-0001



LEGEND:

-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED GRAVEL SURFACING
-  PROPOSED CONCRETE PAVEMENT



SITE PLAN NOTES:

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
6. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
7. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGRIC. SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED OR SOODED. REFER TO THE EROSION CONTROL PLAN FOR SOG AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE MIXED WITH SEED MIX 26-31.
8. WHERE NEW SOG MEETS EXISTING SOG, EXISTING SOG EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE, JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOG SURFACE TO BE FLUSH WITH EXISTING.

DATE	REV. NO.	DESCRIPTION
08/15/2024	1	DESIGN
	2	REVISED
	3	REVISED
	4	REVISED
	5	REVISED
	6	REVISED
	7	REVISED
	8	REVISED
	9	REVISED
	10	REVISED

NOT FOR CONSTRUCTION

BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
CIVIL ENGINEERING SERVICES
1825 PARKWAY STREET, BECKER, MN 55005-9022
TEL: 763-568-8822 FAX: 763-568-8814

LEISTICO FARMS, LLC
NOWTHEN PASTURES
City of Nowthen, Anoka County, MN

SHEET NO.

C1

CALL 48 HOURS BEFORE DIGGING
GOPHER STATE ONE CALL
TWIN CITY AREA 651-454-0002
MINNESOTA TOLL FREE 1-800-252-1166

SEC 8

Harris Lake Rd NW

Worms Lake Rd NW (AKA C.S.A.H. No. 24)

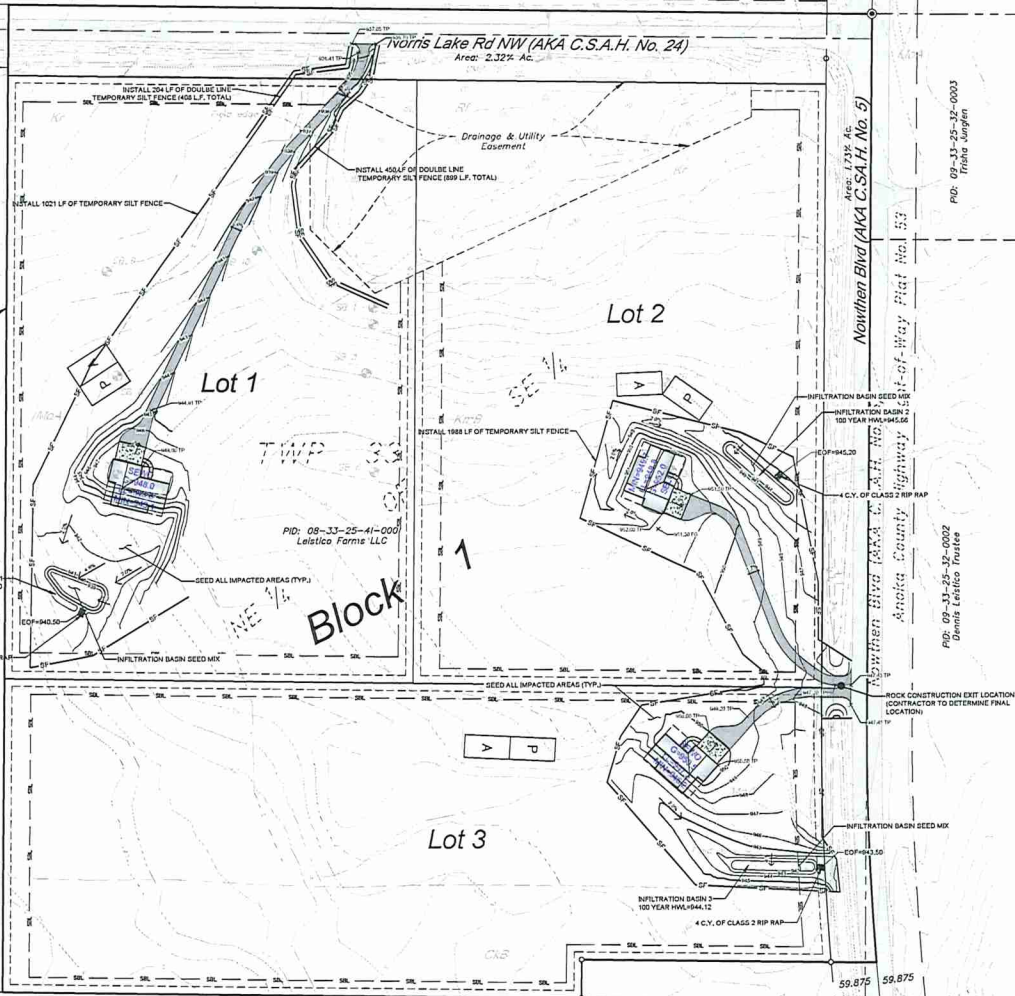
Northen Blvd (AKA C.S.A.H. No. 5)

Northen Blvd (AKA C.S.A.H. No. 5)

Area: 2.32± Ac.

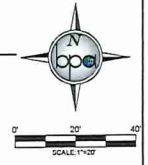
Area: 1.71± Ac.

Area: 1.71± Ac.



LEGEND:

- PROPOSED RIP RAP
- NEW TOP-BACK OF CURB ELEVATION
- NEW FLOW LINE OF CURB ELEVATION
- NEW SIDEWALK ELEVATION
- NEW TOP OF PAVEMENT ELEVATION
- NEW TOP OF GRAVEL ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- PROPOSED CONTOUR
- PROPOSED SLOPE
- EMERGENCY OVERFLOW
- GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE



GRADING GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUNOFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN, MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 2:1 SHALL BE HYDROSEEDED, EROSION CONTROL BLANKETTED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE EXCESS WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
7. IT IS INTENDED THAT EARTHWORK (CUT VS. FILL) BALANCE ON SITE. THE CONTRACTOR SHALL SUBMIT THE QUANTITY OF MATERIAL AND AMOUNT OF ANTICIPATED GRADE ADJUSTMENT FOR REVIEW BY THE ENGINEER A MINIMUM OF FOUR WEEKDAYS PRIOR TO MAKING ADJUSTMENTS. ALL GRADE ADJUSTMENTS MUST BE APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR WORK ASSOCIATED WITH GRADING ADJUSTMENTS, INCLUDING, BUT NOT LIMITED TO, EARTHWORK OPERATIONS, STORM SEWER PIPING AND STRUCTURE ADJUSTMENTS. CONSTRUCTION SURVIVING FOR ADJUSTING FEATURE LOCATIONS ACCORDINGLY, SILT FENCE, ETC.
8. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RESEED OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
9. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL RESIDUALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.
10. CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE CONSTRUCTION GRADING LIMITS SHOWN.
11. ALL WORK SHALL CONFORM TO THE MINNESOTA POLLUTION CONTROL AGENCY'S STORM WATER PERMIT REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH ALL PERMIT REQUIREMENTS.
12. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION OR GRADING OPERATIONS AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE PERMIT.
13. CONTRACTOR SHALL INSPECT TEMPORARY EROSION CONTROL MEASURES ON THE ENTIRE SITE AT LEAST EVERY 7 DAYS AND WITHIN 4 HOURS OF ANY MEASURABLE RAINFALL. DAMAGED SILT FENCE OR OTHER EROSION CONTROL DEVICES OR PRACTICES SHALL BE REPAIRED IMMEDIATELY. INSPECTION AND MAINTENANCE OF DEVICES SHALL CONTINUE UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO THE MPCA.
14. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION.
15. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE CITY OF NOWTHEN AND THE MPCA.
16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF ANY AREAS AND MAINTAINED UNTIL ALL TRIBUTARY DISTURBED AREAS ARE RESTORED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES, INCLUDING SILT FENCE AND BALES, UPON ESTABLISHMENT OF PERMANENT VEGETATION IN SAID AREAS.
18. ALL SOIL TRACKED ONTO PAVEMENT OR ANY OTHER OFF-SITE AREA SHALL BE REMOVED DAILY.
19. THE SITE SEDIMENT CONTROL FACILITIES FOR THE PROJECT MUST BE INSTALLED PRIOR TO ANY GRADING OPERATION.
20. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEEDDED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MNDOT 2575.
21. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MWDOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:
STANDARD SEED MIX 25-131: 220 LB/AC.
INFILTRATION BASIN SEED MIX 33-261: 35 LB/AC.
FERTILIZER 22-5-10: 350 LB/AC.
MULCH TYPES 3: 2 TONS/AC.
22. CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BMP'S SHOWN AND NOT SHOWN ON PLANS DURING PHASING ON PROJECT TO COMPLY WITH MPCA, CITY INSPECTOR AND DEVELOPER REQUEST.

DATE	REV. NO.	DATE	DESCRIPTION
08/15/2024	1		
DESIGNED BY	DWL		
DRAWN BY	DWL		
CHECKED BY	SCB		
DATE FILED	08/15/2024		
FILE NO.	2407020		

NOT FOR CONSTRUCTION

BOGART, PEDERSEN & ASSOCIATES, INC.
LAND SURVEYORS
ENGINEERS
CONSULTANTS
TEL: 763.552.5527 FAX: 763.552.6144

LEISTICO FARMS, LLC
NOWTHEN PASTURES
City of Nowthen, Anoka County, MN

GRADING & EROSION CONTROL PLAN

SHEET NO. **C2**

PID: 08-33-25-42-0001
Leistico Farms LLC

PID: 08-33-25-41-0001
Leistico Farms LLC

PID: 08-33-25-43-0001
Leistico Farms LLC

PID: 08-33-25-44-0001
Leistico Farms LLC

PID: 08-33-25-44-0002
Leistico Farms LLC

DATE PLOTTED: 08/15/2024 10:58:10 AM

STORM WATER POLLUTION PREVENTION PLAN NARRATIVE:

GENERAL INFORMATION
 THIS STORMWATER POLLUTION PREVENTION PLAN IS PREPARED IN ACCORDANCE TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT NO. MN 11000001 FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
PROJECT NAME: LEISTICO FARMS, LLC NOWTHEN PASTURES
LOCATION: NORRIS LAKE RD NW 1/4 S 6 NORTHEN BLDV NW, NORTHEN, MN 55330
ANOKA COUNTY
DATE: 42-383-158-03-173671

DESCRIPTION OF CONSTRUCTION ACTIVITY
 DEVELOPMENT CONSISTS OF PAVING, GRADING, UTILITY INSTALLATION, STORMWATER PONDS AND TURF ESTABLISHMENT.

IMPACT CONTACTS
 LEISTICO FARMS, LLC AND THE CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION.

SWPPP PREPARATION:
SWPPP PREPARED BY: DYLAN LANNES
CONTACT: BOGART, PEDERSON & ASSOCIATES
TRAINING: ENGINEER IN TRAINING AND SWPPP DESIGNER (EXP 2026)
ADDRESS: 12071 FIRST STREET
CITY: BOCCO, MN 55338
TELEPHONE: 763-243-2422
EMAIL: DLANNES@BOGART-PEDERSON.COM

OWNER CONTACT:
ADDRESS: _____
TELEPHONE: _____
EMAIL: _____

CONTRACTOR TO BE FILLED OUT BY THE CONTRACTOR:
BUSINESS NAME: _____
OWNER NAME: _____
ADDRESS: _____
CITY: _____
TELEPHONE: _____
EMAIL: _____
CONTACT NAME: _____
MILING ADDRESS: _____
CITY: _____
TELEPHONE: _____
EMAIL: _____

ESTIMATED DATES OF CONSTRUCTION:
START DATE: ___/___/___ (TO BE FILLED IN BY CONTRACTOR)
COMPLETION DATE: ___/___/___ (TO BE FILLED IN BY CONTRACTOR)

PERMANENT STORMWATER DESIGN CALCULATIONS:
SEE THE STORM WATER MANAGEMENT REPORT FOR MORE INFORMATION, CONTACT
BOGART, PEDERSON & ASSOCIATES FOR REPORT, PROPOSED FLOW RATE IS LISTED
**THROUGH THE USE OF 3" INFILTRATION BASIN,
 SOIL GROUP: A-C.**

DESCRIPTION OF EROSION CONTROL ACTIVITY:
 EROSION CONTROL CONSISTS OF SILT FENCE PERIMETER CONTROL, TURF ESTABLISHMENT THROUGH SEEDING AND EROSION CONTROL BLANKET, AND ROCK CONSTRUCTION ENTRANCE PLACEMENTS.

CUMULATIVE IMPROVEMENT SURFACES:
AREA OF DISTURBANCE: 4.27 ACRES
PRE-CONSTRUCTION IMPERVIOUS AREA: 0.09 ACRES
POST-CONSTRUCTION IMPERVIOUS AREA: 1.81 ACRES
NEW IMPERVIOUS AREA: 1.51 ACRES

REFUSING WATER:
 STORM WATER FROM THIS SITE WILL BE DISCHARGED TO THE SURROUNDING WETLANDS OR TO THE COUNTRY DITCH IN THE SOUTHWEST OF THE SITE.

PLANS AND SPECIFICATIONS:
 THE PLAN SHEETS OF THIS PLAN SET INDICATE THE FOLLOWING ITEMS:
 • PROJECT LOCATION AND CONSTRUCTION LIMITS;
 • LOCATIONS OF IMPERVIOUS SURFACES;
 • LOCATIONS OF AREAS NOT TO BE DISTURBED (E.G., BUFFER ZONES, WETLANDS, ETC.);
 • STEP SLOPE LOCATIONS;
 • LOCATIONS OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S TO BE INSTALLED ON THE PROJECT.
 • THE DETAIL SHEETS INDICATE EROSION AND SEDIMENT CONTROL BMP'S TO BE INSTALLED ON THE PROJECT.
 • IF DOWDING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR TO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.

TEMPORARY SEDIMENT CONTROL PRACTICES:
 DOWN GRADIENT SILT FENCE AND SEDIMENT LOG INSTALLATIONS ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK OPERATIONS.
TOPSOIL: IS TO BE REMOVED ALONG THE CONSTRUCTION LIMITS AND PLACED AS SOPE DRESSING IMMEDIATELY FOLLOWING COMPLETION OF THE GRADING OPERATIONS, AS THE GRADING OPERATIONS PROCEED.
TOPSOIL PLACEMENT: ALONG THE EMBANKMENT SLOPES THROUGH THE WETLANDS AREA IS TO BE SPREAD BY A LOW IMPACT GRADER IN STRIPS FROM THE TOP DOWN THE SLOPES SO AS TO PROVIDE TRACK PRINTS PARALLEL WITH THE CONTOURS.

INSTALLATION OF MANDATORY CATEGORY 3 EROSION CONTROL BLANKET ALONG THE EMBANKMENT SLOPES ADJACENT TO THE WETLANDS AREA.
 ALL TEMPORARY SLOPS STOCKPILES WILL REQUIRE AN EFFECTIVE MEANS OF SEDIMENT CONTROL, SUCH AS AN EROSION CONTROL BLANKET COVERING OR SILT FENCE INSTALLATION ALONG THE TOP OF SLOPE.
 ALL COMPLETED DRAINED SLOPES AND BOTTOMS NOT DRAINING TOWARDS WETLAND AREA ARE TO BE STABILIZED WITHIN 7 DAYS.
 TEMPORARY STABILIZATION WILL BE REQUIRED IN AREAS WHERE GRADING OPERATIONS ARE SUSPENDED OR CEASED FOR A PERIOD OF 7 DAYS OR GREATER.
 A ROCK CONSTRUCTION ENTRANCE FOR SEDIMENT CONTROL IS TO BE PROVIDED AT THE PROJECT ENTRANCE ON NORRIS LAKE RD NW.
 STREET SWEEPING OF THE PAVED SURFACES WILL BE REQUIRED AS DIRECTED BY THE ENGINEER.

TIPOUS OF EROSION CONTROL:
 SILT FENCE AND SEDIMENT LOGS WILL BE INSTALLED PRIOR TO CONSTRUCTION.
 RIPRAP AND FILTER BLANKET WILL BE PLACED AT THE OUTLETS WITHIN 24 HOURS OF THE OUTLET PLACEMENT.
 THE CONTRACTOR MUST ESTABLISH ALL EXPOSED SOIL AREAS IMMEDIATELY FOLLOWING CONSTRUCTION WHEREVER CONSTRUCTION WILL NOT OCCUR FOR A PERIOD GREATER THAN 48 HOURS OR EQUAL TO 7 DAYS.
 STABILIZATION WORK MUST BE COMPLETE WITHIN 7 CALENDAR DAYS AFTER THE CONSTRUCTION WORK IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

AREAS THAT ARE WITHIN 200 FT OF A PUBLIC WATER MUST BE STABILIZED WITHIN 24 HOURS OF COMPLETING CONSTRUCTION DURING PERIODS OF "NO WORK IN WATER RESTRICTION" FOR THE PERIODS DECLARED BY THE DNR.
 THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE DISTURBED AREA UNTIL VEGETATION IS ESTABLISHED.
 ONCE VEGETATION IS ESTABLISHED AND CONSTRUCTION IS COMPLETE, THE SILT FENCE AND ANY OTHER TEMPORARY EROSION CONTROL, THAT IS NOT BIODEGRADABLE SHALL BE REMOVED.
 STREET SWEEPING TO BE PROVIDED AS DIRECTED BY THE ENGINEER OR OWNER. THE CITY REQUIRES STREET SWEEPING TO OCCUR WITHIN 8 HOURS OF NOTICE FROM THE CITY.

APPLYING MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIC OR SIMILAR EROSION PREVENTION PRACTICES IS NOT ACCEPTABLE STABILIZATION IN ANY PART OF THE EROSION OR PERMANENT DRAINAGE DITCH OR SWALE, BLANKETS OR OTHER APPROVED, BY THE ENGINEER, METHOD SHALL BE USED.

INSPECTION AND MAINTENANCE ACTIVITIES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING THE WORK OF ALL OPERATIONS, INCLUDING SUBCONTRACTORS AND UTILITY COMPANIES, SUCH THAT EROSION AND SEDIMENT CONTROL MEASURES ARE FULLY EXERCISED FOR EACH OPERATION AND IN A TIMELY MANNER OVER THE DURATION OF THE PROJECT. OPERATORS HAVE FULL ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SWPPP IMPLEMENTATION UNTIL THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION AND N.O.T. HAS BEEN SUBMITTED TO THE MPCA.

THE CONTRACTOR IS TO PROVIDE A TRAINED INDIVIDUAL RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL BMP'S ON THE PROJECT. THAT INDIVIDUAL IS TO BE IDENTIFIED AT THE PRE-CONSTRUCTION CONFERENCE AND LISTED IN THE MINUTES THEREOF.
 THE APPOINTED INDIVIDUAL IS TO PERFORM A ROUTINE INSPECTION OF THE ENTIRE SITE AT AT LEAST ONCE EVERY SEVEN DAYS DURING CONSTRUCTION OPERATIONS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.25 INCHES IN 24 HOURS.
 AN INSPECTION FORM WILL BE PROVIDED BY THE CONTRACTOR. ANY DEFICIENCIES IN THE EROSION AND SEDIMENT CONTROL BMP'S ARE TO BE NOTICED BY THE INSPECTOR FORM AND CORRECTED BY THE END OF THE NEXT BUSINESS DAY.
 PERIMETER CONTROL DEVICES ARE TO BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER EFFECTIVE OR WHEN THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE DEVICE.

TRAINING DOCUMENTATION:
SWPPP IMPLEMENTATION, REMING, AND INSPECTING TO BE FILLED IN BY THE CONTRACTOR)
NAME OF INDIVIDUAL: _____
OVERSIGHTING & INSPECTING DATE OF TRAINING: _____
NAME OF INSTRUCTOR: _____
ENTITY PROVIDING TRAINING: _____
CONTENT OF TRAINING: _____
TOTAL HOURS OF TRAINING: _____

BMP INSTALLATION, MAINTENANCE, AND REPAIR (TO BE FILLED IN BY THE CONTRACTOR)
NAME OF INDIVIDUAL: _____
OVERSIGHTING & INSPECTING DATE OF TRAINING: _____
NAME OF INSTRUCTOR: _____
ENTITY PROVIDING TRAINING: _____
CONTENT OF TRAINING: _____
TOTAL HOURS OF TRAINING: _____

POLLUTION PREVENTION:
 FERTILIZERS ARE TO BE APPLIED ONLY IN THE AMOUNTS AS SPECIFIED AND WORKED INTO THE SOIL TO MINIMIZE EXPOSURE TO STORMWATER RUNOFF.
 ONSITE REFUELING OPERATIONS ARE TO BE CONDUCTED WITH CARE. ANY INADVERTENT SPILLOVE OF FUEL OR OILS ARE TO BE IMMEDIATELY CLEANED UP. RECOVERED FUEL FROM THE SITE AND DISPOSED OF IN ACCORDANCE TO STATE AND LOCAL REGULATIONS. MAJOR SPILLS ARE TO BE REPORTED TO THE MPCA 24 HOUR NOTIFICATION NETWORK AT 866-422-5796. ALL LIQUID OILS ARE TO BE MONITORED FOR LEAKS AND SUBJECT TO ROUTINE PREVENTIVE MAINTENANCE EFFORTS TO REDUCE THE LIKELIHOOD OF LEAKAGE AND OR SPILLS.

PORTABLE SANITARY WASTE FACILITIES ARE TO BE PROVIDED ONSITE AND EMPTIED ON A BI-WEEKLY BASIS. CONCRETE BATH TRUCKS WILL NOT BE ALLOWED TO DISCHARGE DRUM AND CRUDE WASHOUT DIRECTLY ON THE GROUND. A PORTABLE WASHOUT RECEPTACLE IS TO BE PROVIDED BY THE CONTRACTOR AT THE LOCATION AS PROVIDED BY THE OWNER.
FINAL STABILIZATION:
 FINAL STABILIZATION OCCURS WHEN 70 PERCENT OF THE PERVIOUS AREA IS COVERED WITH UNIFORM PERMANENT VEGETATION.
 ALL TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES ARE TO BE REMOVED AND THE POSED NOTICE OF TERMINATION IS TO BE PREPARED AND SUBMITTED TO THE MPCA.

LOCATION OF SWPPP REQUIREMENTS IN PROJECT PLAN:

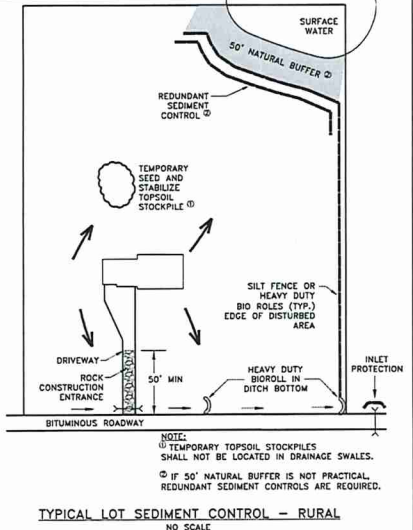
DESCRIPTION	TITLE	LOCATION
EROSION CONTROL- DETAILS	CONSTRUCTION DETAILS	C-45
EROSION CONTROL- LOCATIONS	EROSION CONTROL- LOCATIONS	C-23
24 HOUR MPCA EMERGENCY NOTIFICATION TELEPHONE NUMBERS: 651-644-5421 800-422-6788		

ESTIMATED QUANTITIES:
 THE FOLLOWING QUANTITIES IS AN ESTIMATED PRELIMINARY AMOUNT REQUIRED FOR SEDIMENT CONTROL BMP'S AT THE START OF THE CONSTRUCTION. THIS QUANTITIES IS PROVIDED AS REQUESTED BY THE MINNESOTA POLLUTION CONTROL AGENCY GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ANY ADDITIONAL AND/OR REPLACEMENT BMP'S QUANTITIES WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
ESTIMATED PRELIMINARY QUANTITIES AT START OF PROJECT:

ITEM	UNIT	ESTIMATED INITIAL QUANTITY
TEMPORARY CONSTRUCTION ENTRANCE	EA	-
TEMPORARY SEDIMENT FILTER	EA	-
TEMPORARY CONCRETE WASHOUT	EA	-
TEMPORARY PUMP SEDIMENT CONTROL DEVICE	EA	-
TEMPORARY SEDIMENT LOG	LF	4,300
TEMPORARY SILT FENCE	LF	-
EROSION CONTROL BLANKET (ON)	OV	-

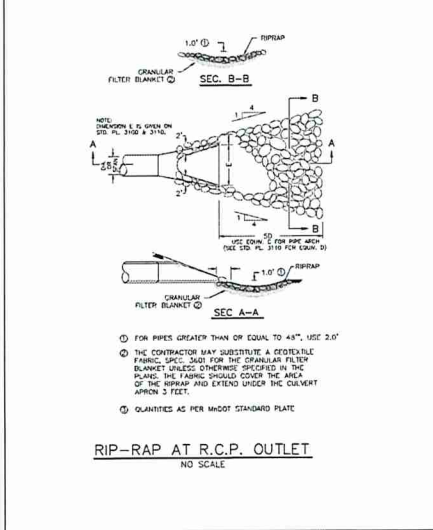
TEMPORARY EROSION AND SEDIMENT CONTROL SPECIFICATIONS:
 PART 1 GENERAL
 1.01 SECTION INCLUDES
 A. PREVENTION OF SEDIMENTATION OF WATERWAYS, OPEN DRAINAGEWAYS, AND STORM AND SANITARY SEWERAGE DUES TO CONSTRUCTION ACTIVITIES.
 B. REFERENCE STANDARDS
 1. GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM, MINNESOTA PERMIT NO. MN 110001.
 2. PERMANENCE REQUIREMENTS
 A. COMPLY WITH ALL REQUIREMENTS OF THE MINNESOTA POLLUTION CONTROL AGENCY FOR EROSION AND SEDIMENT CONTROL.
 B. SOIL BENCH CLEARING, GRADING, OR OTHER WORK INVOLVING DISTURBANCE OF GROUND SURFACE COVER, UNLESS APPLICABLE PERMITS HAVE BEEN OBTAINED, FURNISH ALL DOCUMENTATION REQUIRED TO OBTAIN APPLICABLE PERMITS.
 1. OBTAIN AND PAY FOR PERMITS REQUIRED BY AUTHORITY HAVING JURISDICTION.
 C. TIMING: PUT PREVENTIVE MEASURES IN PLACE PRIOR TO DISTURBANCE OF SURFACE COVER AND BEFORE PRECIPITATION OCCURS.
 D. EROSION OFF SITE: PREVENT EROSION OF SOIL AND DEPOSITION OF SEDIMENT ON OTHER PROPERTIES CAUSED BY WATER LEAKING FROM THE PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
 1. PREVENT TRACKING OF MUD ONTO PUBLIC ROADS OUTSIDE SITE.
 2. PREVENT MUD AND SEDIMENT FROM FLOWING ONTO ADJACENT PROPERTIES.
 E. SEDIMENTATION OF WATERWAYS OFF SITE: PREVENT SEDIMENTATION OF WATERWAYS OFF THE PROJECT SITE, INCLUDING RIVERS, STREAMS, LAKE, POND, OPEN DRAINAGEWAYS, STORM SEWERS, AND SANITARY SEWERS.
 F. MAINTENANCE: MAINTAIN TEMPORARY PREVENTIVE MEASURES UNTIL PERMANENT MEASURES HAVE BEEN ESTABLISHED.

PART 2 PRODUCTS
 2.01 MATERIALS
 A. TEMPORARY SILT FENCE: WOVEN POLYPROPYLENE GEOTEXTILE RESISTANT TO COMMON SOIL CHEMICALS, MILDLY AND PULVERULE, NON-ERODIBLE IN A LOWEST LENGTH POSSIBLE, FIBRE INCLUDING SEAMS WITH THE FOLLOWING MINIMUM AVERAGE LENGTHS:
 1. LENGTH: 100 FT. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 2. PERMITTIVITY: 2.05 SEC./CM. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 3. ULTIMATE TENSILE STRENGTH: 1.5 LB./SQ. YD. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 4. TENSILE STRENGTH: 199 LBS./YD. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 5. ELONGATION: 15 TO 30 PERCENT, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 6. TEAR STRENGTH: 56 LB./YD. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 7. COLOR: MANUFACTURER'S STANDARD, WITH EMBROIDERED AND PATENTER LES PREPARED.
 8. SILT FENCE POSTS: ONE OF THE FOLLOWING:
 A. STEEL OR 1/2-SECTION, WITH MINIMUM MISC. OF 1.5 LB PER LINEAR FOOT.
 B. HARDWOOD, 2 BY 2 INCHES IN CROSS SECTION.
 C. PLASTIC, WITH MINIMUM MISC. OF 1.5 LB PER LINEAR FOOT.
 D. HARDWOOD, 2 BY 2 INCHES IN CROSS SECTION.
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 A. STEEL OR 1/2-SECTION, WITH MINIMUM MISC. OF 1.5 LB PER LINEAR FOOT.
 B. HARDWOOD, 2 BY 2 INCHES IN CROSS SECTION.
 C. PLASTIC, WITH MINIMUM MISC. OF 1.5 LB PER LINEAR FOOT.
 D. HARDWOOD, 2 BY 2 INCHES IN CROSS SECTION.
 E. EMBROIDERED WOVEN POLYPROPYLENE GEOTEXTILE RESISTANT TO COMMON SOIL CHEMICALS, MILDLY AND PULVERULE, NON-ERODIBLE IN A LOWEST LENGTH POSSIBLE, FIBRE INCLUDING SEAMS WITH THE FOLLOWING MINIMUM AVERAGE LENGTHS:
 1. LENGTH: 100 FT. MINIMUM, WHICH TESTED IN ACCORDANCE WITH ASTM D4811.
 2. PERMITTIVITY: 2.0



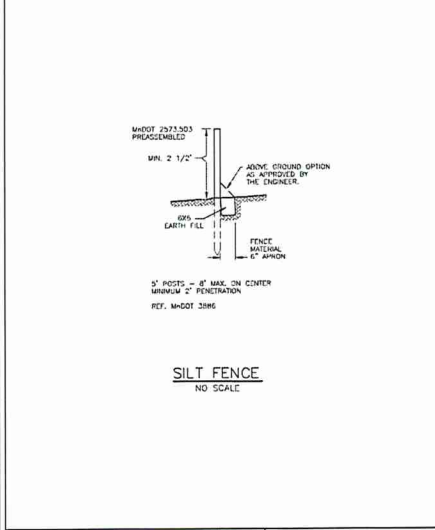
TYPICAL LOT SEDIMENT CONTROL - RURAL
NO SCALE

APPROVED: **City of Nowthen** STANDARD PLATE NO. 504



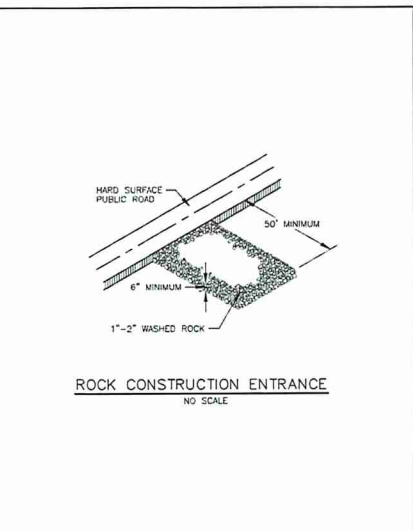
RIP-RAP AT R.C.P. OUTLET
NO SCALE

APPROVED: **City of Nowthen** STANDARD PLATE NO. 501



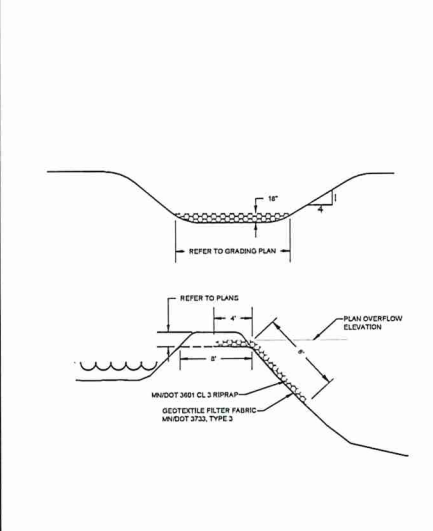
SILT FENCE
NO SCALE

APPROVED: **City of Nowthen** STANDARD PLATE NO. 502

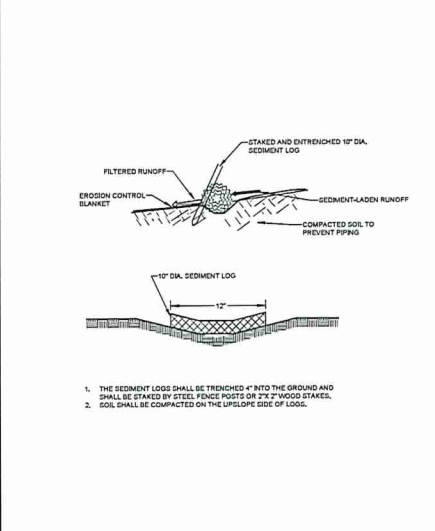


ROCK CONSTRUCTION ENTRANCE
NO SCALE

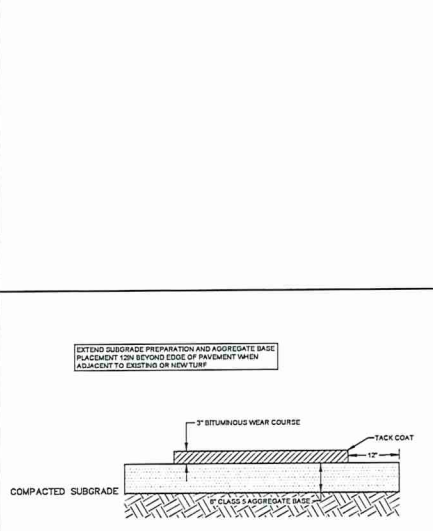
APPROVED: **City of Nowthen** STANDARD PLATE NO. 503



EMERGENCY OVERFLOW WEIR DETAIL
N.T.S.



SEDIMENT FILTER LOG INSTALLATION
N.T.S.



BITUMINOUS DRIVEWAY PAVEMENT SECTION
N.T.S.

DATE	REV. NO.	DATE	DESCRIPTION
04/15/2024	001		
DESIGNED BY: DAW			
DRAWN BY: DAW			
CHECKED BY: CDJ			
DATE FILED: 04/15/2024			
FILE NO.: 240100.00			

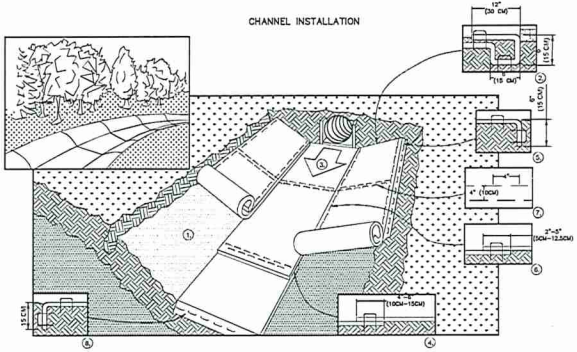
NOT FOR CONSTRUCTION

BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
CIVIL ENGINEERING SERVICES
1024 FIRST STREET, BOCA RATON, FL 33432
TEL: 561-996-8812 FAX: 561-996-8814

LEISTICO FARMS, LLC
NOWTHEN PASTURES
City of Nowthen, Anoka County, MN

SHEET NO. **C4**

DETAILS



WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

WITH APPROXIMATELY 12\"/>

AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

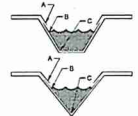
STAPLES STAGGERED 4\"/>

12\"/>

TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.

A DOUBLE ROW OF STAPLES STAGGERED 4\"/>

IN A 6\"/>



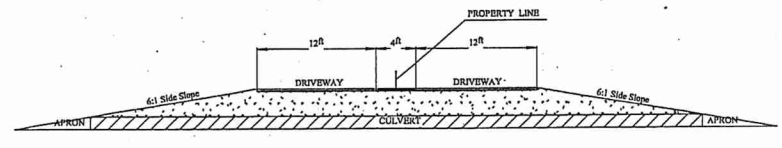
CRITICAL POINTS
 A. OVERLAP AND SEAM
 B. PREDICTED WATER LINE
 C. CHANNEL BOTTOM/SLOPE VERTICES

NOTE
 *HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"/>

EROSION CONTROL MATTING (FOR POND)
 N.T.S.

Example of driveways for adjacent properties

Driveway width and green space between driveways may vary provided each driveway stays within 30 feet of the common property line.
 Wider driveways or wider green space between them will require larger culverts in order to maintain the required 6:1 side slopes.



DOUBLE DRIVEWAY ENTRANCE
 N.T.S.

DATE	09/27/2024	REVISION NO.		DESCRIPTION
DESIGNED BY	BOGART	CHECKED BY	BOGART	
DRAWN BY	BOGART	DATE		
DWG FILE	2252023			
PLT FILE	2252023			
FILE NO.	2252023			

NOT FOR CONSTRUCTION

**BOGART, PEDERSON
& ASSOCIATES, INC.**

LAND SURVEYING
ENVIRONMENTAL SERVICES

1015 S. DAVENPORT BLVD., SUITE 214
MOUND, MN 55337

LEISTICO FARMS, LLC
NOWTHEN PASTURES
City of Nowthen, Anoka County, MN

SHEET NO. C5

DETAILS

C:\Users\leisto\OneDrive\Documents\2024\Projects\2252023\2252023.dwg

2024 DRAFT REDLINE POLICIES – FOR PZ REVIEW
APRIL 16, 2024

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CITY OF NOWTHEN
COUNTY OF ANOKA, MINNESOTA

**PLANNING AND ZONING COMMISSION POLICY ON COMMISSION STRUCTURE,
MEETING ORDER AND GENERAL PROCEDURE**

SECTION 1. PURPOSE

The purpose of this Planning and Zoning Commission policy is to provide a set of operating procedures for the Planning and Zoning Commission and to facilitate adherence to the established code of conduct as referenced in Section 21 of this policy.

SECTION 2. PLAN OF WORK

Upon the appointment and organization of the Planning and Zoning Commission, the Commission, subject to council approval, shall exercise its powers and duties given by Minnesota Statutes 462.351 through 462.364 and conferred upon by Chapters 10 and 11 of the City Code and the performance of its duties. Subject to council approval, the plan may be revised from time to time.

SECTION 3. ANNUAL REVIEW

This policy shall be reviewed annually and as needed by the Planning and Zoning Commission, and any changes or amendments agreed to by a majority vote of the Commission shall be recommended to the City Council for adoption. In addition, the City Council may review this policy and adopt amendments as needed.

SECTION 4. ANNUAL MEETINGS

The annual meeting of the Planning and Zoning Commission shall be the first regular meeting of each year. Such meeting shall be devoted to the election of officers for the ensuing year and such other business as shall be scheduled by the Planning and Zoning Commission.

SECTION 5. REGULAR MEETINGS

Regular meetings of the Planning and Zoning Commission shall be held in the City Hall or other Officially Noticed location at 7:00 PM on the 4th Tuesday of each month or as publicly noted at the City offices or websites. At such meetings, the Commission may consider all matters properly brought before the Commission. A regular meeting may be cancelled or rescheduled by the Commission at a prior meeting, or by the Chairperson

or the City Council. Any regular meeting falling upon a holiday shall be held on a date agreed upon by committee members at the same time and place.

SECTION 6. SPECIAL MEETINGS

Special meetings of the Planning and Zoning Commission may be called by the Chairperson or Vice-Chairperson or City Council who shall designate the time, place, and purpose of the meeting. Notice of special meetings must conform to the State Open Meeting Law. Written notice thereof shall be given to all members at the same time as notice of the special meeting except in the case of an emergency.

SECTION 7. QUORUM

For any meeting to be called to order, a quorum (one over half) of appointed members must be present ~~(See Appendix 1)~~. A quorum must be kept during the entire meeting for action to be taken on any matter before the Commission.

Commented [CN1]: Where is this Appendix? Propose to delete as cannot locate.

SECTION 8. MEETINGS AND THE OPEN MEETING LAW

In accordance with the Minnesota Open Meeting Law (Minnesota Statute Chapter 13D), all official meetings of the Planning and Zoning Commission shall be open to the public. An "official" Planning and Zoning Commission meeting is any gathering, or simultaneous communication (via email, telephone or otherwise), between a quorum of Commission members for the purpose of considering the public business of the Planning and Zoning Commission. Informal gatherings and communications such as site visits and conference telephone calls, therefore, may constitute an official meeting. ~~The Planning and Zoning Commission may exclude the public from its meeting only in certain very limited cases identified in the Open Meeting Law. (See Appendix 1)~~

Commented [CN2]: ?

Commented [CN3]: No reason for PZ to ever exclude public under the Open Meeting Law.

SECTION 9. VOTING AND RECOMMENDATIONS

At all meetings of the Planning and Zoning Commission, each member attending, except for the City Council non-voting ex-officio liaison member, shall be entitled to cast one vote on matters before the Planning and Zoning Commission. In the event that any member has a conflict of interest, as determined by the City Attorney, concerning a matter then before the Commission, he/she shall disclose his/her interest and disqualify him/herself from voting upon the matter, and the secretary shall so record in the minutes that no vote was cast by such member. Nothing shall prevent a member from voluntarily recusing themselves on any matter. The majority vote of all present and voting members shall be necessary for the adoption of any resolution or other voting matter. The results of any vote shall be recorded, listing the identity of the person who made and seconded the motion, and the record of the vote on the motion (identifying the vote

count and, unless the vote was unanimous, the names of those voting for or against the motion).

All recommendations shall be sent to the City Council by means of written reports, minutes and Findings and Fact, and shall include the record of the division of votes on each recommendation.

SECTION 10. REGULAR PROCEEDINGS

- A. At any regular meeting of the Planning and Zoning Commission, the following regular order of business shall be observed:
1. Call to Order and The Pledge of Allegiance
 2. Roll Call
 3. Meeting Policy read
 4. Approve/Amend Meeting Agenda
 5. Approve/Amend Meeting Minutes of the Preceding Meetings
 6. Public Hearings
 7. Other-Old Business
 8. Old/New Business (if applicable)
 9. Adjournment
- B. The order of business may be varied by City Staff or the presiding officer, but no public hearings shall commence or be held at an earlier time than specified in the notice of hearing.
- C. The following procedures will normally be observed for matters before the Planning and Zoning Commission, except for public hearings which follow the procedures detailed in Section 14; however, they may be rearranged by the City Staff or the Chairperson for individual items if necessary for the expeditious conduct of business:
1. Staff presents report and makes recommendation (if any).
 2. Applicant provides a report
 3. The Planning and Zoning Commission members may ask questions regarding the staff presentation and report (if any).
 4. Public's opportunity for comment.
 5. Applicant makes rebuttal of any points not previously covered (if any).
 6. Planning and Zoning Commission asks any questions it may have of all parties and then acts or defers the vote to a date certain.
- D. Each formal action of the Planning and Zoning Commission required by law, rules, regulations, or policy shall be embodied in a formal vote duly entered in full upon the Minute Book after an affirmative vote as provided in Section 5 hereof and need be accompanied by written findings of facts, whereas originals are filed at the City offices.

- E. Unless agreed to by a majority vote of the Planning and Zoning Commission members in attendance at the meeting, no new topic not currently on the agenda item shall be taken up after 9:15 p.m.

Commented [CN4]: Change per City Attorney – if there are many items that have been applied for we need to keep meeting even if it is after 9:15 p.m.

SECTION 11. AGENDA AND DEADLINE FOR AGENDA

- A. **Purpose.** The agenda of a Planning and Zoning Commission meeting serves two important functions: 1) It focuses Planning and Zoning Commission deliberations by determining what matters will be considered at the meeting, when each matter will be considered, and the context in which each matter will be considered; and 2) It serves as the public's guide to what will be considered at the meeting, how the matter be dealt with, who will participate in the discussion, and when public comment may be made. The agenda should be prepared to best achieve these functions.
- B. **Deadlines.** The agenda shall be prepared by City Staff to include planning and zoning applications for which complete applications were submitted under MINN. STAT. 15.99 and closed for additional agenda items by the end of the day on the first Tuesday of each month. The Commission members and City Council members will receive copies of the public hearing notice including those noticed at the same time they are received by the public. Development site signs shall be erected at the same time.
- C. **Submissions.** Any Planning and Zoning Commission member can place an item on the agenda by requesting the City Staff responsible for agenda preparation no later than the first Tuesday of the month prior to the meeting. No item shall be placed on the agenda unless the item is expressed in such a way as to clearly show the subject matter involved.
- D. **Agenda Additions During Regular Meetings.** Additional items may be added or removed from the agenda at a Planning and Zoning Commission meeting subject to approval by a majority vote of the members present and voting. The additional agenda items may be discussed, but no action may be taken if any member objects.
1. If a new item of business proposed to be added to the agenda requires staff review (such as rezonings, ordinance amendments, preliminary subdivision plans, and subdivision review procedures and guidelines), involves quasi-judicial procedures (such as a request for a hardship variance from Subdivision or Zoning Ordinance standards), or involves substantive matters of potential public interest (such as the Comprehensive Plan, or other major policies), the Commission may add the item to the agenda only for purposes of referring it to the staff or a Commission committee, or scheduling it for consideration at a later meeting (as appropriate). **The Commission may not discuss the**

substance of the matter or take any action on the item except at an open meeting where the item, the RCA and supporting documents are included as part of the distributed agenda and all timeframes and process have been completed.

- E. **Delivery of Agenda Packet to Members.** At least six calendar days before the meeting, the City Staff shall provide each Commission member a paper and/or electronic meeting agenda packet including all materials related to items on the agenda (e.g., petition, application, plans, staff report, written comments received).
- F. **Order and Form of the Agenda.** The agenda organization shall conform to Section 10 above. In addition, the agenda shall organize matters to be addressed at the meeting to best promote opportunities for effective public input and the timely and efficient performance of Planning and Zoning Commission responsibilities. Items of business likely to attract the attendance of many interested persons (such as those involving notice to adjoining property owners and those involving other public notice) should be placed early on the agenda to minimize the time citizens must wait for consideration of the item.

SECTION 12. MINUTES

- A. **Purpose.** The minutes of the Planning and Zoning Commission's meetings represent the official record of the Commission's deliberations and actions. As such, they record the Planning and Zoning Commission's vote on actions and the reasons for the vote.

The minutes also communicate background on the Planning and Zoning Commission's recommendations to the City Council, provide perspective on issues, and provide a historical record of Commission proceedings. Furthermore, state law requires the Commission to keep ~~full and accurate~~ minutes of all official meetings and requires that those minutes be retained permanently and be available for public inspection by any person requesting.

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- B. **Duties of Staff Preparing Minutes.** City Staff shall prepare minutes of all Planning and Zoning Commission meetings. The minutes shall state at a minimum:

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1. Which members were present and absent by name. Members arriving late or leaving early shall be so noted.
- ~~2. A summary of staff and committee reports and recommendations, applicants' presentations, public comments, and the Planning and Zoning Commission's discussion on each item.~~
3. The content of each principal motion before the Planning and Zoning

Commission, the identity of the person who made and seconded the motion, and the record of the vote on the motion (identifying the vote count and, unless the vote was unanimous, the names of those voting for or against the motion). ~~If the motion called for or recommended adoption of an ordinance or resolution, or the acceptance of a report, the official copies of such documents will be maintained in the files located at the City offices.~~

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SECTION 13. RULES OF PROCEDURE FOR PLANNING AND ZONING COMMISSION MEETINGS

All meetings of the Planning and Zoning Commission shall be conducted in accordance with the Minnesota Mayors Association Rules of Order. ~~(See Appendix 2)~~

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SECTION 14. PUBLIC HEARINGS

- A. A public hearing is a noticed, official meeting, the express and limited purpose of which is to provide an equitable opportunity for the public to address matters before the Planning and Zoning Commission.
- B. For certain matters considered by the Planning and Zoning Commission, a requirement that the Planning and Zoning Commission conduct a public hearing is prescribed by State Statute, the City's Code of Ordinances or by City Policy. The Planning and Zoning Commission, however, may elect to conduct a public hearing, although not specifically required, if the Planning and Zoning Commission determines such action is advisable due to the unique nature of the matter. In all such instances the Planning and Zoning Commission will consider the precedence created by such action.
- C. The Planning and Zoning Commission may neither deliberate nor take a vote during a public hearing but may ask questions of anyone present.
- D. The Planning and Zoning Commission, upon resuming their regular meeting after the closure of the public hearing, may act upon the matter discussed at the public hearing.

E. Conduct of Persons Before the Planning and Zoning Commission

- F.**
 - 1. During all public hearings required by State law or ordinance, members of the public shall be given reasonable opportunity to speak. To promote meeting efficiency, the Chair may discourage duplicative testimony and may place reasonable but equal time limits on the amount of time that individuals must speak. Comments should be addressed to the item before the Planning and Zoning Commission. ~~Where a comment is irrelevant, inflammatory, disruptive, or prejudicial, the Chair may instruct the Planning and Zoning Commission to "disregard" the comment, which~~

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nevertheless remains in the public record.

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2. During all regular and special meetings of the Planning and Zoning Commission, the public may be present but shall remain silent unless specifically invited by the Chair to provide comment.
3. During all proceedings, members of the public have the obligation to remain in civil order. Any conduct which interferes with reasonable rights of another to provide comment or which interferes with the proper execution of Commission affairs may be ruled by the Chair as "out-of-order" and the offending person directed to remain silent. Once, having been so directed, if a person persists in disruptive conduct, the Chair may order the person to leave the Planning and Zoning Commission meeting or hearing. Where the person fails to comply with an order to leave, the Chair may then call upon civil authority to physically remove the individual from the chamber for the duration of the hearing or deliberation on that item.
4. The Chairperson of the Planning and Zoning Commission may impose additional limits or rules upon members of the public as permitted by Section 16.

F. Additional Rules of Procedure for Public Hearings

1. **Public Hearing Format.** Public hearings shall be conducted in the following manner:
 - a. The presiding officer calls the public hearing to order and declares the time of opening.
 - b. It is the intent of the Planning and Zoning Commission to open all public hearings at the predetermined and published time. From a practical standpoint, not all hearings can be opened at their designated time. The presiding officer may delay the start of a hearing until the business at hand is acted upon, in any manner, by the Planning and Zoning Commission. However, in no circumstances can a hearing be opened prior to the predetermined and published time.
 - c. The presiding officer shall read, from the hearing notice, the details on the hearing sufficient to provide the public a general understanding of the purpose and procedures for the hearing, and the fact that the hearing is their exclusive or primary opportunity to provide input to the City on the subject.

- d. Staff and/or a consultant make a presentation or report on the subject matter for the hearing.
- e. The applicant (if any) may make a presentation or report on the subject matter for the hearing.
- f. The presiding officer asks Planning and Zoning Commission members if they have questions of the staff, consultant, or applicant, if any.
- g. The presiding officer announces that input will be received from the citizens, requesting that each speaker provide a name and address, noting any applicable time limits for comment from individual members of the public, any other applicable rules and explaining the procedure for enforcement of such rules.
- h. After members of the public have spoken the presiding officer requests one of the following:
 - i. Close the public hearing, or
 - ii. Continue a public hearing. If the Planning and Zoning Commission votes to continue the hearing, the presiding officer shall, in consultation with City Staff, select and announce a time and date certain for the continued public hearing. No additional publication or notice requirements are needed if a hearing is continued to a later date. ~~However, no public hearing may be continued more than once without re-noticing and publishing the time, date, and location of the hearing.~~
- i. The Planning and Zoning Commission addresses the subject matter through deliberation, questions to citizens and staff, and reactions and statement of position on the subject.
- j. If the public hearing is closed, the Planning and Zoning Commission may act on the application before them. The Commission may formulate a recommendation which outlines the parameters under which an approval would be granted or alternatively the reasons for which an application would be denied. The reasons and conditions shall be stated in the motion or resolution for approval or denial. Continuation of an action may occur in the event insufficient information is present to decide. The Planning and Zoning Commission shall delineate the missing information before continuing the item.

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SECTION 15. OFFICERS AND MEMBERS

The officers of the Planning and Zoning Commission shall consist of a Chairperson, a Vice-Chairperson. In the absence of the Chair and Vice-Chair, the remaining members shall elect a Temporary Chair for that respective meeting.

- A. Members shall serve three (3) year overlapping terms with one-third (1/3) being appointed each January.
- B. Members shall be residents of the City throughout the term of their term.
- C. Except in extenuating circumstances, members shall attend and participate in at least eighty (80%) of the Planning and Zoning Committee meetings each year to remain eligible for reappointment.
- D. Members shall advise City staff at least 24 hours in advance of a scheduled Planning and Zoning Commission Meeting if they are unable to attend.

SECTION 16. DUTIES OF OFFICERS

The Chair is a voting member of the Planning and Zoning Commission and may make motions. In addition, the duties, and powers of the officers of the Planning and Zoning Commission shall be as follows:

- A. Chairperson
 - 1. To preside at all meetings of the Commission.
 - 2. To call special meetings of the Planning and Zoning Commission in accordance with these bylaws.
 - 3. To sign documents of the Commission.
 - 4. To see that all actions of the Commission are properly taken.
 - 5. To cancel or postpone any regularly scheduled meetings.
 - 6. To invoke a reasonable time limit for speakers during any public hearing in the interest of maintaining focus and the effective use of time.
 - 7. To provide for the selection of one or two spokespersons to represent groups of persons with common interests during public meetings and hearings.
 - 8. To order an end to disorderly conduct and direct law enforcement to

remove disorderly persons from Planning and Zoning Commission meetings or hearings.

9. To schedule a second official public hearing, meeting, or other continued meeting if a meeting or public hearing cannot be concluded by a reasonable hour in the judgment of the Chairperson.
10. The presiding officer has the responsibility to facilitate discussion by the Planning and Zoning Commission. This may occur in a variety of ways, including:
 - a. Interpret and apply rules of procedure.
 - b. Decide whether motions are properly made.
 - c. Decide whether motions are in order.
 - d. Decide whether questions of special privilege ought to be granted.
 - e. Decide when to recognize speakers.
 - f. Call for motions or recommend motions.
 - g. Expel disorderly persons from the meeting.
 - h. Enforce speaking procedures.

B. **Vice-Chairperson.** During the absence, disability or disqualification of the Chairperson, the Vice-Chairperson shall exercise or perform all the duties and be subject to all the responsibilities of the Chairperson.

C. Administrative duties to be delegated to City Staff.

1. To give or serve all notices required by law or by these bylaws.
2. To prepare the agenda for all meetings of the Commission.
3. To be custodian of Commission records.
4. To inform the Commission of correspondence relating to business of the Commission and to attend to such correspondence.
5. To handle funds allocated to the Commission in accordance with its directives, the law and City regulations.
6. To take the minutes of all meetings of the Commission for typing and filing into the appropriate minute book by City Staff.
7. To sign official documents of the Commission and other duties as required.

SECTION 17. VACANCIES

If a vacancy occurs among the members of this Planning and Zoning Commission by reason of death, resignation, disability or otherwise, notice shall be given to the City Administrator and Chairperson by the affected member. City Staff shall then advise City Council of the opening and upon Council approval, follow the guidelines for filling the vacancy.

SECTION 18. AMENDMENTS

This policy on rules of procedure may be amended at any meeting of the Planning and Zoning Commission if notice of said proposed amendment is given to each member in writing at least six (6) calendar days prior to said meeting. All amendments are subject to City Council review and approval before they take effect.

SECTION 19. COMMITTEES

- A. The Chair may appoint ad hoc committees unless the Commission or City Council shall otherwise direct. The Chair shall be an additional voting member of all committees. The Chair may appoint a Planning and Zoning Commission member to chair each ad hoc committee.
- B. Committees shall normally consist of not more than three Planning and Zoning Commissioners including the Chair.
- C. The majority of members of any committee shall constitute a quorum of such committee. If a quorum is not present at a meeting, the members present may prepare reports and submit them to the Planning and Zoning Commission on behalf of the committee, in which case the report shall name the committee members who prepared it.
- D. Nothing in the foregoing shall be construed as waiving the ability of the Planning and Zoning Commission at any time to increase or curtail the duties of any committee and/or to direct or control its actions.

SECTION 20. COMPENSATION

Each Commission member shall receive \$20.00 for each regularly scheduled or special meeting.

SECTION 21. CODE OF CONDUCT

The Planning Commission shall adhere to the Code of Conduct as follows:

A. Purpose

To establish a code of conduct and associated remedies that Commission members agree to abide by in carrying out their duties as appointed officials. This code of conduct does not supersede any existing or future statutory or constitutional rights, but simply outlines appropriate Commission expectations, behavior and interactions with each other, City Staff, citizens, and all other groups encountered because of City business, so as to efficiently and effectively develop and carry out the mission, vision, goals and established policies of the City.

B. Roles/Responsibilities

1. **Meetings** – The chairperson presides over meetings of the Planning and Zoning Commission. Speakers, including Commission members, do not speak until recognized by the chairperson.
2. **Fiduciary Responsibilities** – Recognizing that service to our citizens must be our primary concern; Commission members shall work for the common good of the people of Nowthen and not for any private or personal interest. Commission members will treat all persons, claims, and transactions in a fair and equitable manner.
3. **Preparation** – Commission members are expected to be prepared for Commission meetings and work sessions including becoming familiar with all distributed materials, visiting the sites, and preparing questions and observations to share at the meeting.
4. **Agenda Preparation** – The City Administrator directs preparation of draft meeting agendas. The final agenda is determined by the City Administrator prior to the meeting. At the Commission meeting, agenda items may be added or deleted by Commission members through a majority vote.
5. **Knowledge** – Members are expected to be familiar with this policy, the City zoning ordinance and comprehensive plan.

C. Conduct of Members

1. **Staff Direction** – The Commission is only a recommending body and shall only make a recommendation to the City Council to direct staff, contract employees and consultants. The Mayor and City Council members then may direct City Staff, contract employees and consultants only through the City Administrator, as determined by majority vote.
2. **Respect for Staff Time** – If a Commission member is utilizing an inordinate amount of staff time, the City Administrator is required to bring this to the attention of the City Council for resolution.
3. **Interactions** – Commission members shall refrain from abusive conduct, personal charges or verbal attacks upon the character or motives of other members of the City Council, boards, commissions, committees, staff, or the public.
4. **Respect for Process** – Commission member duties shall be performed in accordance with the processes and rules of order established by the City Council.

5. **Use of Public Resources** – Public resources not available to the public (e.g., city staff time, equipment, supplies, or facilities) shall not be used by Commission members for private, personal, or political purposes.
6. **Advocacy** – To the best of their ability, Commission members shall speak with one voice in representing the official policies and positions of the Commission. When presenting their personal opinions or positions, members shall explicitly state that they do not represent the Commission or the City.
7. **Improper Influence** – Commission members shall refrain from using their position to improperly influence the deliberations or decisions of City Staff, boards, commissions, or committees.
8. **Positive Work Environment** – Commission members shall support a positive, efficient, and effective environment for residents, businesses, and City employees.
9. **Steward of City Funds** – When the end of a Commission member's service on the Planning and Zoning has been determined by means of not being reappointed or resignation, that Commission member shall not subject the City to unnecessary trainings and mileage.

D. Communication

1. **Sharing of Information** – It is the responsibility of Commission members to publicly share information with all other Commission members that they have received from sources outside of the public decision-making process, which pertains to a topic under consideration. Whenever possible, new information or data obtained by Commission members, pertinent to a topic being discussed, will be distributed through the City Staff to the Commission members. Upon reviewing the "new information" the Commission may adopt a motion to postpone further consideration of the information until all members have had time to review and interpret this new information.
2. **Focused Discussions** – Commission members shall work to keep discussions and debates focused on the item under discussion without introducing extraneous or irrelevant information.
3. **Request for Information**- All Commission members shall receive the same information at the same time when deemed ready for distribution by staff. If a Commission member requests information in advance of others on the Commission, the matter shall be resolved by most of the Commission.

4. **Coordination with City Staff** – City Staff should be involved when Commission members meet with officials from other agencies and jurisdictions to ensure proper staff support as needed and to keep staff appropriately informed.
5. **Citizen Questions** – Commission members should refer questions and concerns from citizens to the City Administrator or appropriate department director. City Staff should report back to the City Council on the resolution of the referral.
6. **Confidential Information** – Commission members shall respect and preserve the confidentiality of non-public, protected non-public, private, and confidential information provided to them concerning matters of the City. They shall neither disclose confidential information without proper legal authorization nor use such information to advance their personal, financial, or private interests.
7. **Notice of Attendance** – If any Commission member has knowledge or reason to believe that there will be a large or emotional attendance at an upcoming Commission meeting or work session, they have an obligation to inform the City Administrator as soon as they become aware of the potential situation.

E. Implementation

1. **Orientation** – This Code of Conduct shall be included in the regular orientations for new Commission members.
2. **Compliance and Enforcement** – Commission members themselves have the primary responsibility to assure that the code of conduct is understood and followed and that the public can continue to have full confidence in the integrity of the Nowthen city government.

F. Remedies. It is the responsibility of the Commission members to police its members. When inappropriate behaviors are observed, the chair and Mayor are to meet with the member. Based upon the findings from the meeting, Commission if inappropriate behavior is observed, the City Council will discuss the behavior at a City Council work session. By direction of the City Council, it will be determined whether:

1. A letter is sent to the offending Commission member stating that they have been found operating outside the established code of conduct, requesting them to correct the behavior identified as inappropriate; or
2. The Commission member is formally sanctioned or removed from the Commission by resolution at a City Council meeting.

SECTION 22. DISCLAIMER.

This policy is intended to provide general guidance to the Planning Commission in conducting its official business. The failure to follow this policy shall not invalidate the Planning Commission's proceedings or actions.

Commented [CN12]: Added per City Attorney comments.

ADOPTED this _____ day of _____ 2024

ATTEST:

Mayor Jeff Pilon

City Administrator Scott Lehner